

Jeffery Schmitt, Planning Board Chair
Michael Harris, Vice Chairperson
Teresa Bakner, Board Attorney
Chris Parslow, Town Planner
Melissa Deffer, Planning Clerk



Elizabeth Novak, Board Member
Joshua Houghton, Board Member
Matthew Hoffman, Board Member
Michael Walpole, Board Member

**Town of Duanesburg
Planning Board Agenda
May 21, 2026**

AGENDA ITEMS MAY BE ADDED, DELETED, OR ORDER CHANGED WITHOUT NOTICE

The Town of Duanesburg offers Planning Board Meetings via Teams if you are unable to attend the meeting in person.

Please be advised this is for viewing purposes only:

**Join Microsoft Teams Meeting
Meeting ID: 210 563 695 322 50
Passcode: y9pC3ho3**

INTRODUCTION BY CHAIRPERSON JEFFERY SCHMITT

OPEN FORUM

PUBLIC HEARINGS: NONE.

OLD BUSINESS:

#26-04 Hawes, Karen: SBL#43.00-2-20 located at 1053 Herrick Rd.(R-2) is seeking a major subdivision to turn 1 lot into 3. Under The Town of Duanesburg Subdivision Ordinance section 3.5 "major subdivision approval."
Comments:

Approved: Yes _____ No _____

SKETCH PLAN REVIEW:

#26-07 Bernard, Anthony: SBL#64.00-1-12.14 located at 2856 NY 30. (C-1) is seeking a Special Use Permit to build a single-family residence in a commercial zone. Under The Town of Duanesburg Zoning Ordinance section 11.4(10) "Dwelling single family, consisting of a minimum gross floor area of 600ft".
Comments:

Jeffery Schmitt, Planning Board Chair
Michael Harris, Vice Chairperson
Teresa Bakner, Board Attorney
Chris Parslow, Town Planner
Melissa Deffer, Planning Clerk



Elizabeth Novak, Board Member
Joshua Houghton, Board Member
Matthew Hoffman, Board Member
Michael Walpole, Board Member

NEW BUSINESS: NONE.

OTHER: NONE.

MINUTE APPROVAL:

April 16, 2026, PLANNING BOARD MEETING MINUTES:

Comments:

Approved: Yes _____ No _____

ADJOURNMENT: NEXT MEETING WILL BE HELD APRIL 16, 2026

ZONING COORDINATION REFERRAL

SCHENECTADY COUNTY DEPT. OF ECONOMIC DEVELOPMENT & PLANNING
Recommendations shall be made within 30 days after receipt of a full statement of the proposed action.

For Use By SCDEDP

Received 3-31-26
Case No. D-3-26
Returned 4-7-26

FROM: ☐ Legislative Body
☐ Zoning Board of Appeals
☒ Planning Board

Municipality:
Town of Duanesburg

TO: Schenectady County Department of Economic Development and Planning
Schaffer Heights, 107 Nott Terrace, Suite 303
Schenectady, NY 12308

(tel.) 386-2225
(fax) 382-5539
Received
Schenectady County

ACTION: ☐ Zoning Code/Law Amendment
☐ Zoning Map Amendment
☒ Subdivision Review
☐ Site Plan Review

☐ Special Permit
☐ Use Variance
☐ Area Variance
☐ Other (specify)

MAR 31 2026

Economic Development
and Planning Dept.

PUBLIC HEARING OR MEETING DATE: April 16, 2026

SUBJECT: #26-04 Hawes, Karen: SBL#43.00-2-20 located at 1053 Herrick Rd.(R-2) is seeking a major subdivision to turn 1 lot into 3. Under The Town of Duanesburg Subdivision Ordinance section 3.5 " major subdivision approval."

REQUIRED ENCLOSURES:

1. Public hearing notice & copy of the application.
2. Map of property affected. (Including Tax Map I.D. number if available)
3. Completed environmental assessment form and all other materials required by the referring body in order to make its determination of significance pursuant to the state environmental quality review act.

1. This zoning case is forwarded to your office for review in compliance with Sections 239-l, 239-m and 239-n of Article 12-B of the General Municipal Law, New York State.
2. This material is sent to you for review and recommendation because the property affected by the proposed action is located within 500 feet of the following:
 - ☐ the boundary of any city, village or town;
 - ☐ the boundary of any existing or proposed County or State park or other recreation area;
 - ☒ the right-of-way of any existing or proposed County or State parkway, thruway, expressway, road or highway;
 - ☐ the existing or proposed right-of-way of any stream or drainage channel owned by the County or for which the County has established channel lines;
 - ☐ the existing or proposed boundary of any County or State-owned land on which a public building or institution is situated;
 - ☒ the boundary of a farm operation located in an agricultural district, as defined by Article 25-AA of the agriculture and markets law. The referral requirement of this subparagraph shall not apply to the granting of area variances.

SUBMITTED BY:

Name: Lindsay Althiser

Title: Planning/Zoning/Building Clerk

Address: 5853 Western Turnpike Duanesburg, NY 12056

E-mail: LAlthiser@duanesburg.net

Phone: (518) 895-2040

Date: 3/23/2026


Signature



PLANNING & ZONING COORDINATION REFERRAL

Case No. D-3-26

Applicant Karen Hawes

Referring Officer Lindsay Alhiser

Municipality Duanesburg

Considerations: Applicant is seeking a major subdivision to turn 1 lot (43.00-2-20) into 3 lots. Under Town of Duanesburg Subdivision Ordinance section 3.5, major subdivision approval.

RECOMMENDATION

Receipt of zoning referral is acknowledged on 3-31-26. Please be advised that the undersigned Commissioner of Economic Development and Planning of the County of Schenectady (having under the Schenectady County Charter the powers and duties of a County Planning Board) has reviewed the proposed action stated on the opposite side of this form and makes the following recommendations:

☐ *Approve of the proposal.

☒ Defer to local consideration (No significant county-wide or inter-community impact)

☐ Modify/Conditionally Approve. Conditions:

☒ Advisory Note:

1. Given the location on the curve of Herrick Rd, site distances for potential driveway's on new lots may be limited, recommend that the Town Highway Supervisor reviews plans to ensure that the road frontage is adequate as proposed.

2. Would consider having the applicant show locations of septic and well on lot 1.

☐ Disapprove. Reason:

*A recommendation of approval should not be interpreted that the County has reviewed all local concerns and/or endorses the project; rather the proposed action has met certain County considerations.

Section 239-m of the general Municipal Law requires that within 30 days after final action, the referring body shall file a report of the final action it has taken with the Schenectady County Department of Economic Development and Planning. A referring body which acts contrary to a recommendation of modification or disapproval of a proposed action shall set forth the reasons for the contrary action in such report.

4-03-2026
Date

Mark G. Stets
Acting Commissioner
Economic Development and Planning

Jeffrey Schmitt, Planning Board Chair
Chris Parslow, Town Planner
Melissa Deffer, Planning & Zoning Clerk
Teresa Bakner, Board Attorney



Michael Harris, Vice Chairperson
Elizabeth Novak, Board Member
Matthew Hoffman, Board Member
Michael Walpole, Board Member
Joshua Houghton, Board Member

TOWN OF DUANESBURG
SCHENECTADY COUNTY

NOTICE OF PUBLIC HEARING

LEGAL NOTICE NOTICE OF PUBLIC HEARING PLANNING BOARD TOWN OF DUANESBURG

PLEASE TAKE NOTICE, THAT THE PLANNING BOARD OF THE TOWN OF
DUANESBURG, NEW YORK, WILL MEET AT THE TOWN HALL IN THE TOWN
OF DUANESBURG, 5853 WESTERN TURNPIKE, ON **APRIL 16, 2026 AT
7:00 PM** FOR THE PURPOSE OF HEARING ALL PERSONS INTERESTED IN THE
APPLICATION OF:

#26-04 Hawes, Karen: SBL#43.00-2-20 located at 1053 Herrick Rd.(R-2) is seeking
a major subdivision to turn 1 lot into 3. Under The Town of Duanesburg Subdivision
Ordinance section 3.5 "major subdivision approval."

APPLICATION INFORMATION IS AVAILABLE DURING BUSINESS HOURS

BY ORDER OF THE CHAIRPERSON
PLANNING BOARD
TOWN OF DUANESBURG
CHAIRPERSON

Join Teams Meeting (view only)
Meeting ID: 210 563 695 322 50
Passcode: y9pC3ho3

Application for The Planning Board TOWN OF DUANESBURG

5853 Western Turnpike, Duaneburg, NY 12056
Building Department 518-895-2040



Date

01	20	26
MM	DD	YY

Application #

26-04

Application Type: ☐ Major Subdv. ☒ Minor Subdv. ☐ Special Use Permit ☐ Site/ Sketch Plan Review ☐ Lot Line Adjust.

Proposal: 2 Lot Subdivision & Boundary Line Adjustment

Section _____ of the _____ Ordinance.

Owner (AS APPEARS ON DEED): Karen I. Hawes Irrevocable Trust

Address: 1053 Herrick Road, Delanson, NY 12053

Phone: _____

Applicant's Name (if different): _____

Location of Property (if different from owners): _____

Zoning District: R-2

Phone: _____ Tax Map #: 43.-2-20

Signature of Owner(s) if different from Applicant (AS APPEARS ON DEED)

LANDS CONVEYED TO (REQUIRED FOR MERGERS):

--

Signature of receiving Owner(s) if different from Applicant (AS APPEARS ON DEED)

I CERTIFY THAT THE ABOVE INFORMATION IS TRUE AND CORRECT. The Applicant hereby certifies that he/she is the owner of the above property or has duly authorized, in writing, by the owner of record to make this application. Further, by signing this application, the owner gives permission for a representative(s) of the Town of Duaneburg to walk the property for the purposes of conducting a site review.

_____ Date _____ Date _____

Signature of Owner(s) and/or Applicant

(For Office Use Only)

ALL APPLICATION FEES ARE NON-REFUNDABLE

Application fee paid: \$ 750.00 ☐ CC ☐ Cash ☒ Check # 4950 Date Pd. 3/9/26

Reviewed By: LA 3-9 20 26
Date

☐ Approved ☐ Unapproved ☐ Refer to Code Enforcement Section _____ of the _____ Ordinance.

Planning Commission Comments _____

Planning Chairperson

Date

20

Code Enforcement Officer

Date

20

Agriculture Data Statement

TOWN OF DUANESBURG

5853 Western Turnpike, Duanesburg, NY 12056
Building Department 518-895-2040

Application # 26-04

Date

01	20	2026
MM	DD	YY

Applicant

Name: _____

Address: _____

Owner (if different from Applicant):

Name: _____

Address: _____

1. Application Type: ☐ Special Use Permit ☐ Site Plan Approval ☐ Use Variance ☐ Area Variance ☒ Subdivision Approval
(check all that apply)

2. Description of proposed project: 2 - Lot Minor Subdivision of Parcel 43.-2-20 along with merger of
a portion of lands of 43.-2-20 with 43.-2-19.

3. Address of project: 1193 & 1293 Herrick Road

Tax Map #: 43.-2

4. Is this parcel within an Agriculture District? ☐ YES ☒ NO (Check with your local assessor if you do not know.)

5. If YES, Agriculture District #: _____

6. Is this parcel actively farmed? ☒ YES ☐ NO

7. List all farm operations within 500ft of your parcel. Attach additional sheet if necessary

Name: Ming Jiao Hsia

Address: 691 Hillman Rd

Is this parcel actively farmed? ☒ YES ☐ NO

Name: Adam Kerel

Address: 901 Herrick Rd

Is this parcel actively farmed? ☒ YES ☐ NO

Name: _____

Address: _____

Is this parcel actively farmed? ☐ YES ☐ NO

Name: _____

Address: _____

Is this parcel actively farmed? ☐ YES ☐ NO

Signature of Applicant

Signature of Owner (if other than applicant)

Reviewed by: _____ Date: 20 _____
Christopher Parslow

Revised 1/14/25

FARM NOTE

Prospective residents should be aware that farm operations may generate dust, odor, smoke, noise, vibration and other conditions that may be objectionable to nearby properties. Local governments shall not unreasonably restrict or regulate farm operations within State Certified Agricultural Districts unless it can be shown that the public health or safety is threatened.

NOTE TO REFERRAL AGENCY: County Planning Board review is required. A copy of the Agriculture Data Statement must be submitted along with the referral to the County Planning Department.

NOTICE OF DETERMINATION
of the Town of Duanesburg

Date of Determination 3/6/26

Application of KAREN HAWES under section
3.5 of the (Village of Delanson/ Town of Duanesburg)
SUBDIVISION Ordinance.

Applicant KAREN HAWES
Address 1053 HERRICK RD
DELANSON N.Y. 12053

Phone 518-875-6249 Zoning District R-2 SBL# 43.00-2-20

Description of
Project: TURN 1 LOT INTO 3 LOTS

Determination:
MAJOR SUBDIVISION APPROVAL NEEDED

Reason supporting determination:
TOWN OF DUANESBURG SUBDIVISION ORDINANCE ADOPTED 3/9/95
UNDER SECTION 3.5 MAJOR SUBDIVISION APPROVAL

Action: Refer to <u>Planning BOARD</u> for the purpose of <u>MAJOR SUBDIVISION</u>
--

Code Enforcement Officer: Christal Rhee

ZONING COORDINATION REFERRAL

SCHENECTADY COUNTY DEPT. OF ECONOMIC DEVELOPMENT & PLANNING

Recommendations shall be made within 30 days after receipt of a full statement of the proposed action.

For Use By SCDEDP

Received _____
Case No. _____
Returned _____

FROM: ☐ Legislative Body
☐ Zoning Board of Appeals
☒ Planning Board

Municipality:
Town of Duanesburg

TO: Schenectady County Department of Economic Development and Planning
Schaffer Heights, 107 Nott Terrace, Suite 303
Schenectady, NY 12308

(tel.) 386-2225
(fax) 382-5539

ACTION: ☐ Zoning Code/Law Amendment
☐ Zoning Map Amendment
☒ Subdivision Review
☐ Site Plan Review

☐ Special Permit
☐ Use Variance
☐ Area Variance
☐ Other (specify) _____

PUBLIC HEARING OR MEETING DATE: April 16, 2026

SUBJECT: #26-04 Hawes, Karen: SBL#43.00-2-20 located at 1053 Herrick Rd.(R-2) is seeking a major subdivision to turn 1 lot into 3. Under The Town of Duanesburg Subdivision Ordinance section 3.5 "major subdivision approval."

REQUIRED ENCLOSURES:

1. Public hearing notice & copy of the application.
2. Map of property affected. (Including Tax Map I.D. number if available)
3. Completed environmental assessment form and all other materials required by the referring body in order to make its determination of significance pursuant to the state environmental quality review act.

1. This zoning case is forwarded to your office for review in compliance with Sections 239-l, 239-m and 239-n of Article 12-B of the General Municipal Law, New York State.
2. This material is sent to you for review and recommendation because the property affected by the proposed action is located within 500 feet of the following:
 - ☐ the boundary of any city, village or town;
 - ☐ the boundary of any existing or proposed County or State park or other recreation area;
 - ☒ the right-of-way of any existing or proposed County or State parkway, thruway, expressway, road or highway;
 - ☐ the existing or proposed right-of-way of any stream or drainage channel owned by the County or for which the County has established channel lines;
 - ☐ the existing or proposed boundary of any County or State-owned land on which a public building or institution is situated;
 - ☐ the boundary of a farm operation located in an agricultural district, as defined by Article 25-AA of the agriculture and markets law. The referral requirement of this subparagraph shall not apply to the granting of area variances.

SUBMITTED BY:

Name: Lindsay Althiser Title: Planning/Zoning/Building Clerk
Address: 5853 Western Turnpike Duanesburg, NY 12056
E-mail: LAlthiser@duanesburg.net Phone: (518) 895-2040


Signature

Date: 3/23/2026

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

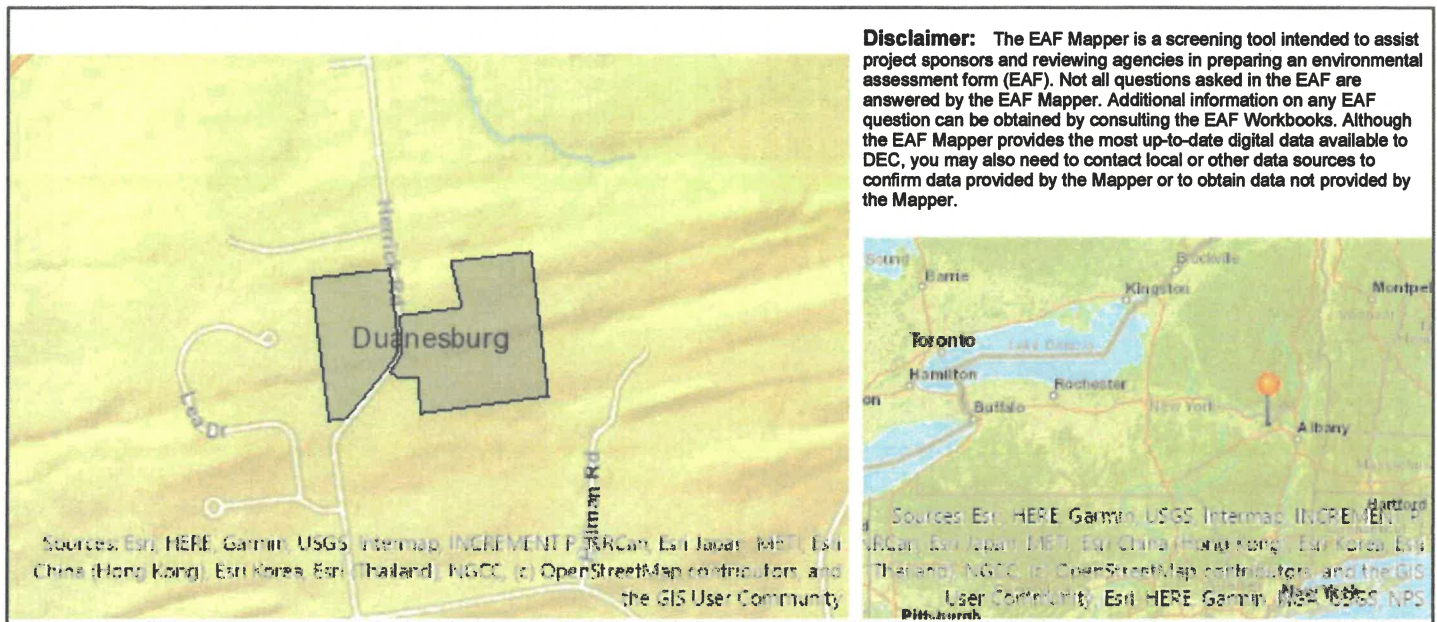
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

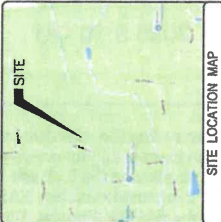
Part 1 – Project and Sponsor Information			
Name of Action or Project: 2Lot Subdivision & Boundary Line Adjustment			
Project Location (describe, and attach a location map): 1193 & 1293 Herrick Road Town of Duanesburg. East side of Herrick Road approx. 0.65 miles North from intersection with Skyline Drive.			
Brief Description of Proposed Action: Two Lot Subdivision of parcel 43.-2-20. Lot one parcel will be 2.38 acres with dwelling and Lot two will be 25.28 Acres on the east side of Herrick Road along with 27.66 acres on west side of Herrick Road for a total of 52.94 acres. The remaining lands, 27.09 acres, on east side of Herrick Road are to have a boundary line adjustment with tax parcel 43.-2-19 for a combined total of 33.88 acres.			
Name of Applicant or Sponsor: Karen Hawes		Telephone: E-Mail: k4hlady@aol.com	
Address: 1053 Herrick Road			
City/PO: Delanson		State: NY	Zip Code: 12053
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO ☒
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			YES ☐
3. a. Total acreage of the site of the proposed action? b. Total acreage to be physically disturbed? c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?			54.75 acres 0 acres 97.12 acres
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. ☐ Urban ☒ Rural (non-agriculture) ☐ Industrial ☐ Commercial ☒ Residential (suburban) ☒ Forest ☐ Agriculture ☐ Aquatic ☐ Other(Specify): ☐ Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO ☐ ☐	YES ☒ ☒	N/A ☐ ☐
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO ☐	YES ☒	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO ☒	YES ☐	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO ☒ ☒ ☒	YES ☐ ☐ ☐	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO ☒	YES ☐	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO ☒	YES ☐	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO ☒	YES ☐	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? Hawes Homestead, 09301.000127 Building. national Register # 90NR02627 b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO ☐ ☒	YES ☒ ☐	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO ☐ ☒	YES ☒ ☐	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: ☐ Shoreline ☒ Forest ☒ Agricultural/grasslands ☐ Early mid-successional ☒ Wetland ☐ Urban ☐ Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	☒	☐
16. Is the project site located in the 100-year flood plan?	NO	YES
	☒	☐
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	☒	☐
a. Will storm water discharges flow to adjacent properties?	☐	☐
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	☐	☐
If Yes, briefly describe: _____ _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____	NO	YES
	☒	☐
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	☐	☐
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	☒	☐
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: _____ Date: _____ Signature: _____ Title: _____		



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	Yes
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local, New York State, and federal wetlands and waterbodies is known to be incomplete. Refer to the EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No



SITE LOCATION MAP

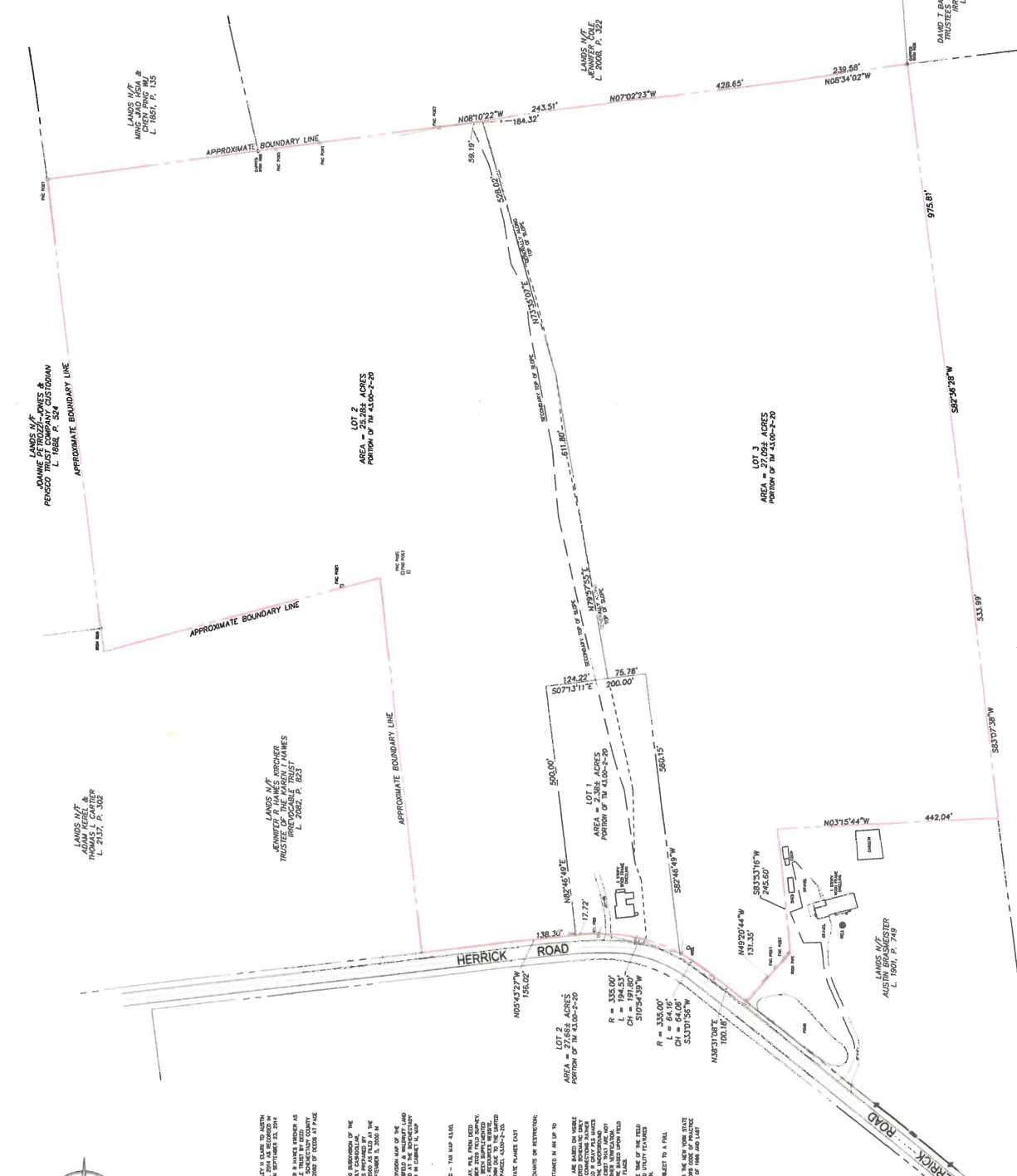
TAX MAP PARCELS L205-2-20
ORIGINAL AREA WEST SIDE OF HERRICK RD = 27,684 ACRES
LOT 1 AREA = 2,384 ACRES
LOT 2 (EAST 80%) AREA = 23,284 ACRES
LOT 3 (WEST 20%) AREA = 27,684 ACRES

CURRENT ZONING:

AGRICULTURAL AND RESIDENTIAL R-2
MINIMUM LOT AREA = 200 ACRES
MINIMUM LOT WIDTH = 100 FEET
MINIMUM LOT DEPTH = 100 FEET
MINIMUM LOT COVERAGE = 25%
MINIMUM LOT SETBACK = 25 FEET
MINIMUM LOT FRONT SETBACK = 25 FEET
MINIMUM LOT SIDE SETBACK = 25 FEET
MINIMUM LOT REAR SETBACK = 25 FEET
MINIMUM LOT FRONT SETBACK = 25 FEET
MINIMUM LOT SIDE SETBACK = 25 FEET
MINIMUM LOT REAR SETBACK = 25 FEET
MINIMUM LOT FRONT SETBACK = 25 FEET
MINIMUM LOT SIDE SETBACK = 25 FEET
MINIMUM LOT REAR SETBACK = 25 FEET

GENERAL NOTES:

1. THE PROPERTY IS LOCATED WITHIN THE AGRICULTURAL AND RESIDENTIAL R-2 ZONING DISTRICT OF THE COUNTY OF SHERIDAN, WYOMING.
2. THE PROPERTY IS SUBJECT TO THE EIGHTH EDITION OF THE ZONING ORDINANCE OF THE COUNTY OF SHERIDAN, WYOMING.
3. THE PROPERTY IS SUBJECT TO THE EIGHTH EDITION OF THE ZONING ORDINANCE OF THE COUNTY OF SHERIDAN, WYOMING.
4. THE PROPERTY IS SUBJECT TO THE EIGHTH EDITION OF THE ZONING ORDINANCE OF THE COUNTY OF SHERIDAN, WYOMING.
5. THE PROPERTY IS SUBJECT TO THE EIGHTH EDITION OF THE ZONING ORDINANCE OF THE COUNTY OF SHERIDAN, WYOMING.
6. THE PROPERTY IS SUBJECT TO THE EIGHTH EDITION OF THE ZONING ORDINANCE OF THE COUNTY OF SHERIDAN, WYOMING.
7. THE PROPERTY IS SUBJECT TO THE EIGHTH EDITION OF THE ZONING ORDINANCE OF THE COUNTY OF SHERIDAN, WYOMING.
8. THE PROPERTY IS SUBJECT TO THE EIGHTH EDITION OF THE ZONING ORDINANCE OF THE COUNTY OF SHERIDAN, WYOMING.
9. THE PROPERTY IS SUBJECT TO THE EIGHTH EDITION OF THE ZONING ORDINANCE OF THE COUNTY OF SHERIDAN, WYOMING.
10. THE PROPERTY IS SUBJECT TO THE EIGHTH EDITION OF THE ZONING ORDINANCE OF THE COUNTY OF SHERIDAN, WYOMING.



DEED REFERENCES:

- 1. DEED BY WILLIAM E. CLARK & BERNARD H. CLARK TO AUSTIN H. CLARK, DATED JANUARY 10, 1901, AS RECORDED IN THE COUNTY CLERK'S OFFICE OF SHERIDAN COUNTY, WYOMING, IN BOOK 107 OF DEEDS AT PAGE 104.
- 2. DEED BY WILLIAM E. CLARK & BERNARD H. CLARK TO AUSTIN H. CLARK, DATED JANUARY 10, 1901, AS RECORDED IN THE COUNTY CLERK'S OFFICE OF SHERIDAN COUNTY, WYOMING, IN BOOK 107 OF DEEDS AT PAGE 104.
- 3. DEED BY WILLIAM E. CLARK & BERNARD H. CLARK TO AUSTIN H. CLARK, DATED JANUARY 10, 1901, AS RECORDED IN THE COUNTY CLERK'S OFFICE OF SHERIDAN COUNTY, WYOMING, IN BOOK 107 OF DEEDS AT PAGE 104.
- 4. DEED BY WILLIAM E. CLARK & BERNARD H. CLARK TO AUSTIN H. CLARK, DATED JANUARY 10, 1901, AS RECORDED IN THE COUNTY CLERK'S OFFICE OF SHERIDAN COUNTY, WYOMING, IN BOOK 107 OF DEEDS AT PAGE 104.
- 5. DEED BY WILLIAM E. CLARK & BERNARD H. CLARK TO AUSTIN H. CLARK, DATED JANUARY 10, 1901, AS RECORDED IN THE COUNTY CLERK'S OFFICE OF SHERIDAN COUNTY, WYOMING, IN BOOK 107 OF DEEDS AT PAGE 104.
- 6. DEED BY WILLIAM E. CLARK & BERNARD H. CLARK TO AUSTIN H. CLARK, DATED JANUARY 10, 1901, AS RECORDED IN THE COUNTY CLERK'S OFFICE OF SHERIDAN COUNTY, WYOMING, IN BOOK 107 OF DEEDS AT PAGE 104.
- 7. DEED BY WILLIAM E. CLARK & BERNARD H. CLARK TO AUSTIN H. CLARK, DATED JANUARY 10, 1901, AS RECORDED IN THE COUNTY CLERK'S OFFICE OF SHERIDAN COUNTY, WYOMING, IN BOOK 107 OF DEEDS AT PAGE 104.
- 8. DEED BY WILLIAM E. CLARK & BERNARD H. CLARK TO AUSTIN H. CLARK, DATED JANUARY 10, 1901, AS RECORDED IN THE COUNTY CLERK'S OFFICE OF SHERIDAN COUNTY, WYOMING, IN BOOK 107 OF DEEDS AT PAGE 104.
- 9. DEED BY WILLIAM E. CLARK & BERNARD H. CLARK TO AUSTIN H. CLARK, DATED JANUARY 10, 1901, AS RECORDED IN THE COUNTY CLERK'S OFFICE OF SHERIDAN COUNTY, WYOMING, IN BOOK 107 OF DEEDS AT PAGE 104.
- 10. DEED BY WILLIAM E. CLARK & BERNARD H. CLARK TO AUSTIN H. CLARK, DATED JANUARY 10, 1901, AS RECORDED IN THE COUNTY CLERK'S OFFICE OF SHERIDAN COUNTY, WYOMING, IN BOOK 107 OF DEEDS AT PAGE 104.

NOTES:

- 1. THE PROPERTY IS LOCATED WITHIN THE AGRICULTURAL AND RESIDENTIAL R-2 ZONING DISTRICT OF THE COUNTY OF SHERIDAN, WYOMING.
- 2. THE PROPERTY IS SUBJECT TO THE EIGHTH EDITION OF THE ZONING ORDINANCE OF THE COUNTY OF SHERIDAN, WYOMING.
- 3. THE PROPERTY IS SUBJECT TO THE EIGHTH EDITION OF THE ZONING ORDINANCE OF THE COUNTY OF SHERIDAN, WYOMING.
- 4. THE PROPERTY IS SUBJECT TO THE EIGHTH EDITION OF THE ZONING ORDINANCE OF THE COUNTY OF SHERIDAN, WYOMING.
- 5. THE PROPERTY IS SUBJECT TO THE EIGHTH EDITION OF THE ZONING ORDINANCE OF THE COUNTY OF SHERIDAN, WYOMING.
- 6. THE PROPERTY IS SUBJECT TO THE EIGHTH EDITION OF THE ZONING ORDINANCE OF THE COUNTY OF SHERIDAN, WYOMING.
- 7. THE PROPERTY IS SUBJECT TO THE EIGHTH EDITION OF THE ZONING ORDINANCE OF THE COUNTY OF SHERIDAN, WYOMING.
- 8. THE PROPERTY IS SUBJECT TO THE EIGHTH EDITION OF THE ZONING ORDINANCE OF THE COUNTY OF SHERIDAN, WYOMING.
- 9. THE PROPERTY IS SUBJECT TO THE EIGHTH EDITION OF THE ZONING ORDINANCE OF THE COUNTY OF SHERIDAN, WYOMING.
- 10. THE PROPERTY IS SUBJECT TO THE EIGHTH EDITION OF THE ZONING ORDINANCE OF THE COUNTY OF SHERIDAN, WYOMING.

GERALD R. GRAY
SURVEYORS, LLC
1183 Herrick Road
Laramie, WY 82001
Phone: (307) 735-1111
Fax: (307) 735-1112
Email: ggray@geraldgray.com

3 Lot Subdivision
Lands of Heavens
1183 Herrick Road
Laramie, WY 82001
Scale: 1" = 40'

LANDS N/4
DAVID T. BULLOCK & J. REELEY
TRUSTEES OF THE BALFOUR FAMILY
TRUST
L. 1987, P. 883

LANDS N/4
ELIZABETH WOODS & TRUSTEES
OF THE CHRYCOTE WOODS IRREVOCABLE TRUST
L. 2008, P. 259

LANDS N/4
ADAM KRELL & TRUSTEES
L. 2157, P. 302

LANDS N/4
JENNIFER L. HENDERSON
TRUSTEE OF THE HENDERSON FARM
L. 2002, P. 823

LANDS N/4
KENNEDY COLE
L. 2008, P. 322

LANDS N/4
AUSTIN H. CLARK
L. 1901, P. 749

Application for The Planning Board TOWN OF DUANESBURG

5853 Western Turnpike, Duaneburg, NY 12056
Building Department 518-895-2040



Date 04 14 26
MM DD YY

Application # 26-07

Application Type: ☐ Major Subdv. ☐ Minor Subdv. ☐ Special Use Permit ☐ Site/ Sketch Plan Review ☐ Lot Line Adjust.

Proposal: 3 Car garage with 2 bedroom
Primary living space above.

Section _____ of the _____ Ordinance.

Owner (AS APPEARS ON DEED): Anthony Bernard
Address: 2856 NY-30 Esperance NY 12066

Phone: 518-312-9181

Applicant's Name (if different): _____

Location of Property (if different from owners): _____

Zoning District: _____

Phone: _____ Tax Map #: 64.00-1-12.14

Signature of Owner(s) if different from Applicant (AS APPEARS ON DEED)

LANDS CONVEYED TO (REQUIRED FOR MERGERS): _____

Signature of receiving Owner(s) if different from Applicant (AS APPEARS ON DEED)

I CERTIFY THAT THE ABOVE INFORMATION IS TRUE AND CORRECT. The Applicant hereby certifies that he/she is the owner of the above property or has duly authorized, in writing, by the owner of record to make this application. Further, by signing this application, the owner gives permission for a representative(s) of the Town of Duaneburg to walk the property for the purposes of conducting a site review.

Anthony Bernard

Date 04/14/26

Signature of Owner(s) and/or Applicant

Date _____

(For Office Use Only)

ALL APPLICATION FEES ARE NON-REFUNDABLE

Application fee paid: \$ _____ ☐ CC ☐ Cash ☐ Check # _____ Date Pd. _____

Reviewed By: _____ Date _____ 20 _____

☐ Approved ☐ Unapproved ☐ Refer to Code Enforcement Section _____ of the _____ Ordinance.

Planning Commission Comments _____

Planning Chairperson

Date _____ 20 _____

Code Enforcement Officer

Date _____ 20 _____



TOWN OF DUANESBURG
SCHENECTADY COUNTY

INSTRUCTIONS FOR APPLICATIONS TO THE PLANNING BOARD

- The Planning Board meets the **Third Thursday** of each month at **7:00PM** on the basement floor in the boardroom.
- Each application shall consist of **Two (2) copies** of the requested information including the maps and the application with Environmental Assessment Form. Please make sure all sides of the copies are made as well as all maps.
- **A PDF copy of all maps is required to be e-mailed to the Planning Board Clerk, Lindsay Althiser at LAlthiser@Duanesburg.gov**
- All applications shall be accompanied with the required fee (fees are non-refundable). Without the appropriate fee the application **WILL NOT** be reviewed by the Planning and Zoning Department.
- **COMPLETE** applications must be reviewed and submitted **TEN (10) DAYS** prior to the next meeting in the Planning and Zoning Office (the applications must be submitted no later than 3PM). **Note:** To be placed on the agenda, the Planning and Zoning Department must have reviewed all materials and agreed the application is ready to be heard, if for any reason the agenda is full for that month, the Board reserved the right to postpone your application until the following month.
- The Applicant must appear in person or by a duly designated representative at the hearing or the matter will not be considered. If for any reason you or your representative cannot attend the meeting scheduled, please contact the Planning and Zoning Office prior to the meeting.

Failure to submit required information may result in the delay of your application being considered.

Lindsay Althiser
Planning and Zoning Clerk
Town of Duanesburg
5853 Western Turnpike
Duanesburg NY 12053
518-895-2040

CHECK LIST OF REQUIRED INFORMATION:

- | | |
|---|--|
| ☐ Title of drawing | ☐ Sewer system: Which district? |
| ☐ Tax Map ID# | ☐ Basic SWPPP (1≥) |
| ☐ Zoning District | ☐ full Storm Water Control Plan (more than an acre) |
| ☐ Current Original Deed | ☐ Storm Water Control Plan |
| ☐ NYS Survey (L.S. & P.E.) | ☐ Other (Building Set Backs) |
| ☐ North Arrow scale (1"=100') | ☐ Short or Long EAF - https://gisservices.dec.ny.gov/cafmapper/ |
| ☐ Boundaries of the property plotted and labeled to scale. | ☐ Street pattern: Traffic study needed? |
| ☐ School District/ Fire District | ☐ All property Mergers REQUIRE both owner's signatures on the application |
| ☐ Green area/ landscaping | ☐ EMAIL PDF COPIES OF ALL MAPS TO PLANNING & ZONING CLERK |
| ☐ Existing watercourses, wetlands, etc/ | <u>Additional Requirements for Special Use Application:</u> |
| ☐ Contour lines (increments of 10ft.) | ☐ New or existing building |
| ☐ Easements & Right of ways | ☐ Business plan, hours of operation & number of employees, floor plan, uses, lighting plan, landscaping & signage |
| ☐ Abutting properties wells/sewer systems within 100ft. | |
| ☐ Well/Water System | |
| ☐ Septic system: Soil investigation completed? | |

Agriculture Data Statement

TOWN OF DUANESBURG

5853 Western Turnpike, Duanesburg, NY 12056
Building Department 518-895-2040

Application #

Date

04
MM

14
DD

26
YY

Applicant

Name: Anthony Bernard
Address: 4 Kriss Crossing
East Greenbush NY 12061

Owner (if different from Applicant):

Name: _____
Address: _____

1. Application Type: ☐ Special Use Permit ☐ Site Plan Approval ☐ Use Variance ☐ Area Variance ☐ Subdivision Approval
(check all that apply)

2. Description of proposed project: 3 Car garage with 2 bedroom
Primary living space above.

3. Address of project: 2856 NY-30 Esperance, NY 12066

Tax Map #: 64.00-1-12.14

4. Is this parcel within an Agriculture District? ☐ YES ☐ NO (Check with your local assessor if you do not know.)

5. If YES, Agriculture District #: _____

6. Is this parcel actively farmed? ☐ YES ☒ NO

7. List all farm operations within 500ft of your parcel. Attach additional sheet if necessary

Name: _____
Address: _____

Is this parcel actively farmed? ☐ YES ☐ NO

Name: _____
Address: _____

Is this parcel actively farmed? ☐ YES ☐ NO

Name: _____
Address: _____

Is this parcel actively farmed? ☐ YES ☐ NO

Name: _____
Address: _____

Is this parcel actively farmed? ☐ YES ☐ NO

Anthony Bernard
Signature of Applicant

Signature of Owner (if other than applicant)

Reviewed by: _____ Date: 20 _____
Christopher Parslow

Revised 1/14/25

FARM NOTE

Prospective residents should be aware that farm operations may generate dust, odor, smoke, noise, vibration and other conditions that may be objectionable to nearby properties. Local governments shall not unreasonably restrict or regulate farm operations within State Certified Agricultural Districts unless it can be shown that the public health or safety is threatened.

NOTE TO REFERRAL AGENCY: County Planning Board review is required. A copy of the Agricultural Data Statement must be submitted along with the referral to the County Planning Department.

NOTICE OF DETERMINATION
of the Town of Duanesburg

Date of Determination 4/29/26

Application of ANTHONY BERNARD under section
11.4 (10) of the (Village of Delanson/ Town of Duanesburg)
ZONING Ordinance.

Applicant ANTHONY BERNARD
Address 2856 NY 30
ESPERANCE NY 12066

Phone 518-312-9181 Zoning District C-1 SBL# 64.00-1-12.14

Description of
Project: SINGLE FAMILY RESIDENCE IN A COMMERCIAL ZONE

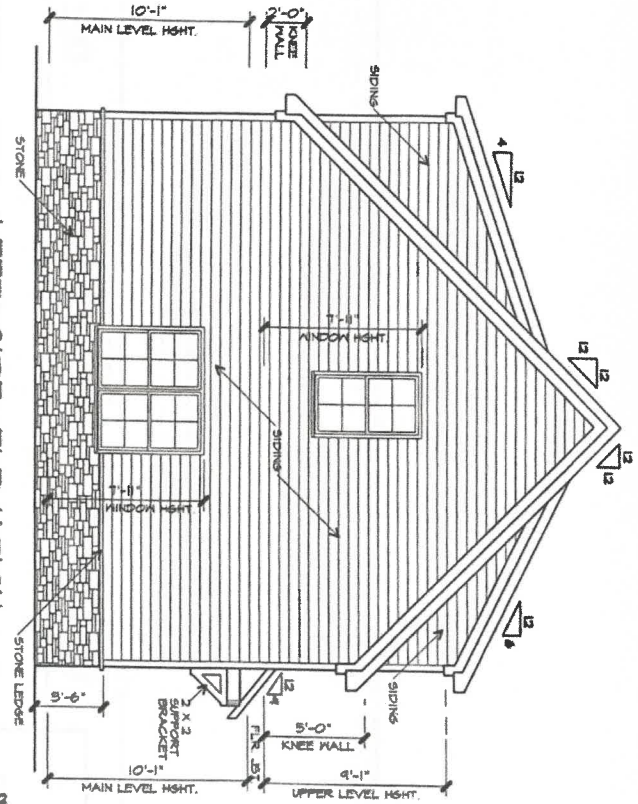
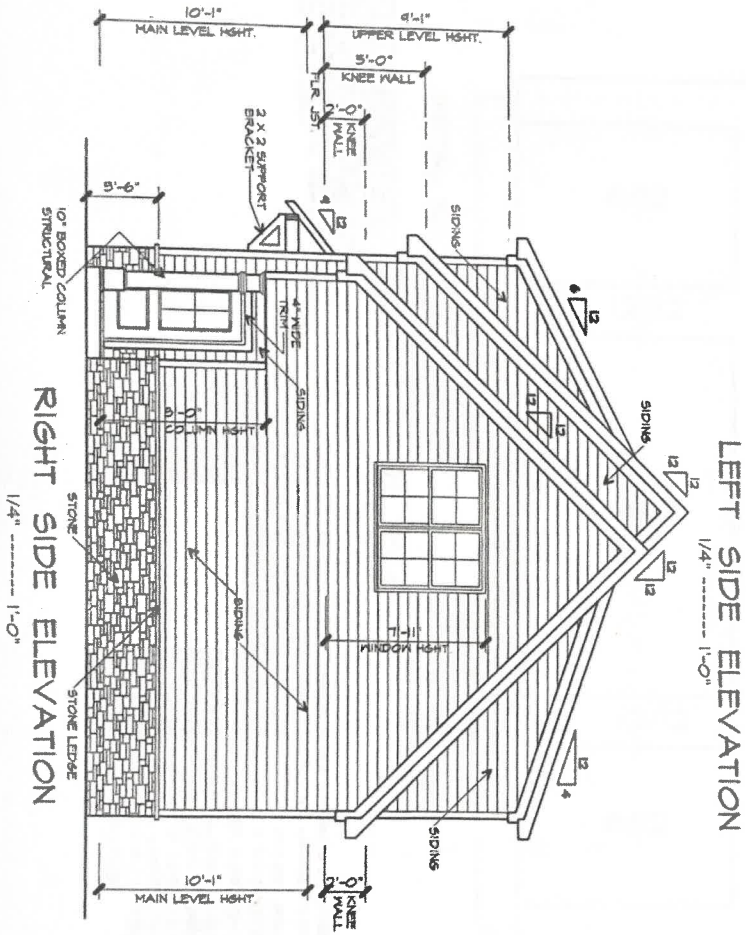
Determination:
SPECIAL USE PERMIT NEEDED

Reason supporting determination:
TOWN OF DUANESBURG ZONING ORDINANCE ADOPTED 6/11/15
UNDER SECTION 11.4 (10) "DWELLING SINGLE FAMILY,
CONSISTING OF A MINIMUM GROSS FLOOR AREA OF 600 FT.

Action: Refer to <u>PLANNING BOARD</u> for the purpose of <u>SPECIAL USE PERMIT</u>

Code Enforcement Officer: Chith Rahn

ALL DISCREPANCIES ARE CONSIDERED MATHEMATICALLY
AND SHALL BE ANY DRAWING, REPORT, OR DISCREPANCIES
TO OR FROM THE PROJECT OR ANY WORK OR MATERIALS
ORDER, SOLE LIABILITY OF DK DESIGN, INC. SHALL BE TO
CORRECT ANY DISCREPANCY ON THE PLANT'S BEHALF. ALL
STRUCTURAL ASPECTS OF THIS WORK ARE THE BUILDING
CONTRACTORS RESPONSIBILITY. ALL STRUCTURAL MEMBERS
SHOULD MEET OR EXCEED LOCAL COUNTY AND STATE
BUILDING CODES. DK DESIGN, INC. ASSUMES NO RESPONSIBILITY
FOR CONSTRUCTION ERRORS.



**IF THIS STAMP IS NOT IN
RED THEN THIS IS AN
ILLEGAL SET OF PLANS**

THIS IS A ONE TIME BUILD CONSTRUCTION LICENSE ISSUED 1-4-2022
THE CONSTRUCTION LICENSE TO BUILD THIS PLAN WAS ISSUED TO:

ANTHONY BERNARD
4 KRISS KROSSING
EAST GREENBUSH, NY 12061

NO ONE ELSE IS ALLOWED TO BUILD FROM THIS PLAN.
A SIGNED CONSTRUCTION LICENSE WAS ISSUED WITH THIS
PLAN FOR PROOF OF AUTHENTICITY. ALL BUILDING DEPARTMENTS
MUST ASK FOR THE CONSTRUCTION LICENSE BEFORE ISSUING A
A BUILDING PERMIT FOR CONSTRUCTION TO BE PROTECTED AGAINST
ANY COPYRIGHT VIOLATION

COPYRIGHT DK DESIGNS, INC. ALL RIGHTS
RESERVED. ANY DUPLICATION, DISTRIBUTION
RESALE OR REPRODUCTION OF ANY KIND
TO THESE PLANS IS STRICTLY PROHIBITED
UNLESS AUTHORIZED IN WRITING BY DK DESIGNS, INC.

GP3D
MINTONVILLE



DK DESIGNS, INC.

SHEET
OF

REVISION

DK DESIGNS, INC.

DK DESIGNS, INC.
ATLANTA, GA.
770-460-4443

ALL DIMENSIONS ARE GIVEN UNLESS OTHERWISE SPECIFIED. DO NOT SCALE ANY DRAWING. REPORT ALL DISCREPANCIES TO THE DESIGNER. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR CORRECTING ANY DISCREPANCIES ON THE PLANS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR CORRECTING ANY DISCREPANCIES ON THE PLANS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR CORRECTING ANY DISCREPANCIES ON THE PLANS.

METAL ROOF

ROOF PLAN

1/4" = 1'-0"

9/12

6/12

12/12

6/12

12/12

6/12

12/12

12/12

NOTE: ALL 2 X 8 RAFTERS @ 16" O.C. OR AS PER CODE REQUIREMENTS. SPECIES PER LOCAL CODE REQUIREMENTS.

12/12

4/12

ALL ROOF OVERHANGS ARE 12" FROM WALL LINE ON SIDING/STUCCO AREAS AND 18" FROM WALL LINE ON BRICK EXTERIOR AREAS TYPICAL ALL OVERHANGS

4/12

IF THIS STAMP IS NOT IN RED THEN THIS IS AN ILLEGAL SET OF PLANS

THIS IS A ONE TIME BUILD CONSTRUCTION LICENSE ISSUED 1-4-2022 THE CONSTRUCTION LICENSE TO BUILD THIS PLAN WAS ISSUED TO:

ANTHONY BERNARD

4 KILISS KROSSING

EAST GREENBUSH, NY 12061

NO ONE ELSE IS ALLOWED TO BUILD FROM THIS PLAN. A SIGNED CONSTRUCTION LICENSE WAS ISSUED WITH THIS PLAN FOR PROOF OF AUTHENTICITY. ALL BUILDING DEPARTMENTS MUST ASK FOR THE CONSTRUCTION LICENSE BEFORE ISSUING A BUILDING PERMIT FOR CONSTRUCTION TO BE PROTECTED AGAINST ANY COPYRIGHT VIOLATION

COPYRIGHT DK DESIGNS, INC. ALL RIGHTS RESERVED. ANY DUPLICATION, DISTRIBUTION, RESALE OR REPRODUCTION OF ANY KIND TO THESE PLANS IS STRICTLY PROHIBITED UNLESS AUTHORIZED IN WRITING BY DK DESIGNS, INC.

www.dkplans.com



DK DESIGNS, INC.

SHEET

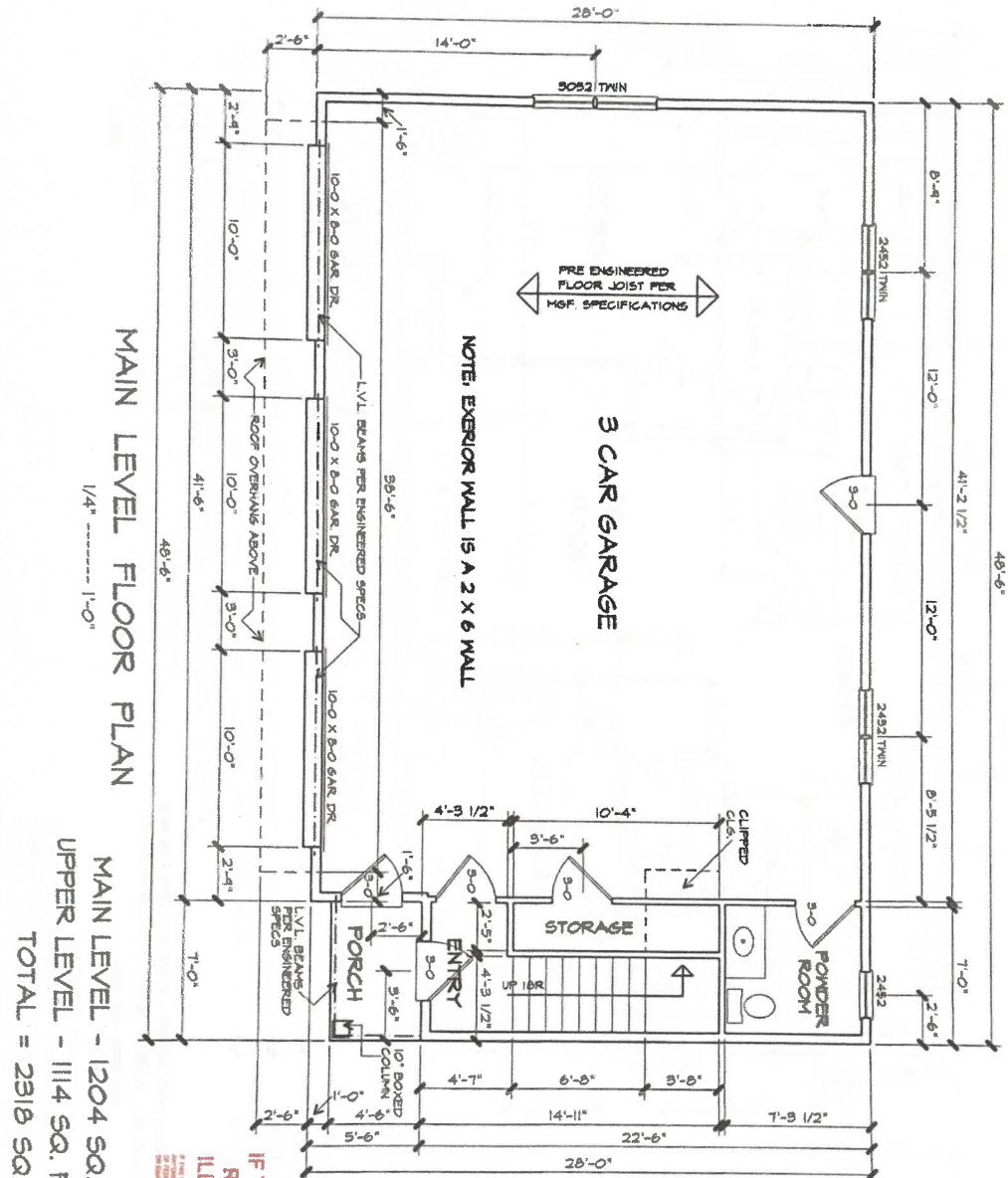
6

REVISION

DK DESIGNS, INC.

DK DESIGNS, INC.
ATLANTA, GA
770-460-4445

GP3D
MINTONVILLE



MAIN LEVEL FLOOR PLAN

MAIN LEVEL - 1204 SQ. FT.
UPPER LEVEL - 1114 SQ. FT.
TOTAL = 2318 SQ. FT.

ALL DIMENSIONS ARE COMPARED MATHEMATICALLY TO THE PLANS. DO NOT SCALE ANY DIMENSIONS. REPORT ALL DISCREPANCIES TO THE DESIGNER. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE PLANS. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE PLANS. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE PLANS.

NOTE: ALL BEAMS MUST HAVE DIRECT BEARING TO STRUCTURAL COMPONENTS. SECTION CUTTING AND BEAM TO BEAM CONNECTIONS TO BE MADE WITH APPROVED DIMENSIONS.

NOTE: IT IS THE PRAXIS AND BUILDING CONTRACTORS OBLIGATION TO VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL BEAMS AND WALLS AND LOAD BEARING SITUATIONS.

THIS IS A ONE TIME BUILD CONSTRUCTION LICENSE ISSUED 1-4-2022
THE CONSTRUCTION LICENSE TO BUILD THIS PLAN WAS ISSUED TO:

ANTHONY BERNARD
4 KRIST KROSSING
EAST GREENBUSH, NY 12061

NO ONE ELSE IS ALLOWED TO BUILD FROM THIS PLAN.
A SIGNED CONSTRUCTION LICENSE WAS ISSUED WITH THIS PLAN FOR PROOF OF AUTHENTICITY. ALL BUILDING DEPARTMENTS MUST ASK FOR THE CONSTRUCTION LICENSE BEFORE ISSUING A BUILDING PERMIT FOR CONSTRUCTION TO BE PROTECTED AGAINST ANY COPYRIGHT VIOLATION

COPYRIGHT DK DESIGNS, INC. ALL RIGHTS RESERVED. ANY DUPLICATION, DISTRIBUTION, RESALE OR REPRODUCTION OF ANY KIND TO THESE PLANS IS STRICTLY PROHIBITED UNLESS AUTHORIZED IN WRITING BY DK DESIGNS, INC.

IF THIS STAMP IS NOT IN RED THEN THIS IS AN ILLEGAL SET OF PLANS

www.dkplans.com



DK DESIGNS, INC.

SHEET
OF

REVISION

DK DESIGNS, INC.

GP3D
MINTONVILLE

DK DESIGNS, INC.
ATLANTA, GA
770-460-4445

DK DESIGNS, INC.
ATLANTA, GA
770-460-4485

DK DESIGNS, INC.

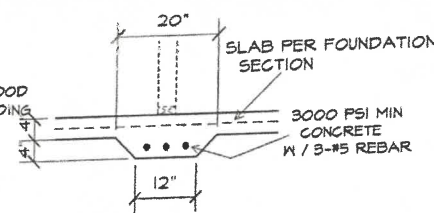
REVISION

SHEET 0

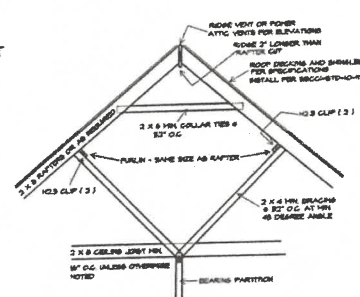


www.dkplans.com

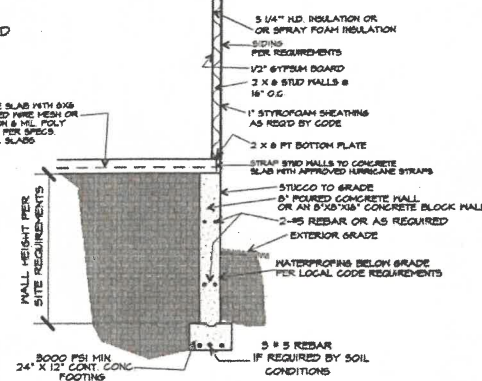
CONSTRUCTION
DETAIL
SHEET



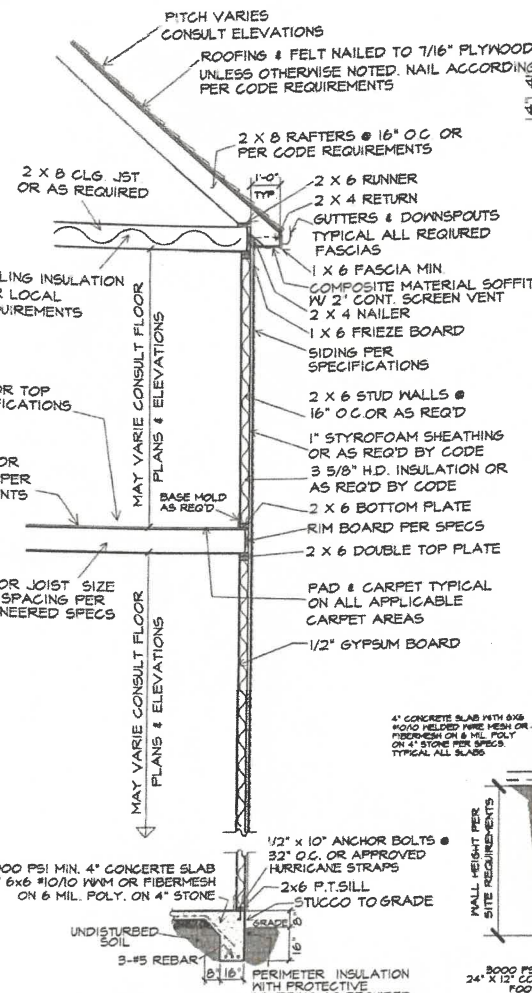
GRADE BEAM DETAIL



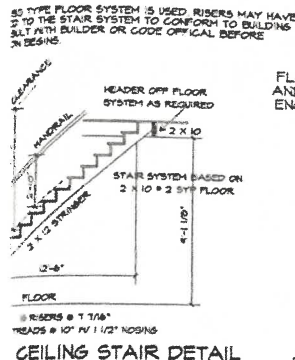
TYPICAL ROOF BRACING
DETAIL



OPTIONAL STEM WALL
FOUNDATION SECTION



2 STORY SIDING WALL SECTION



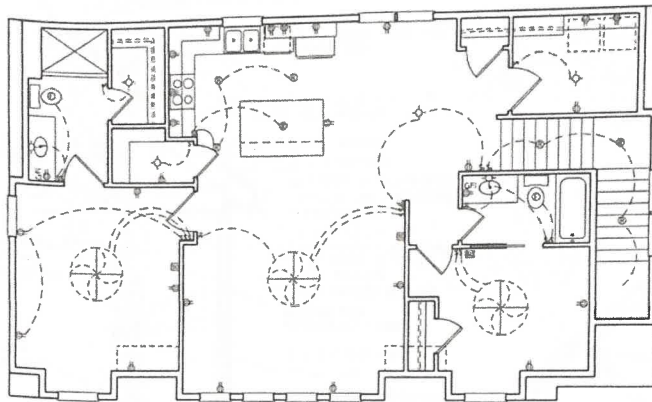
CEILING STAIR DETAIL

NOTE: REVIEW ALL ELECTRICAL WITH OWNER / BUILDER BEFORE INSTALLATION

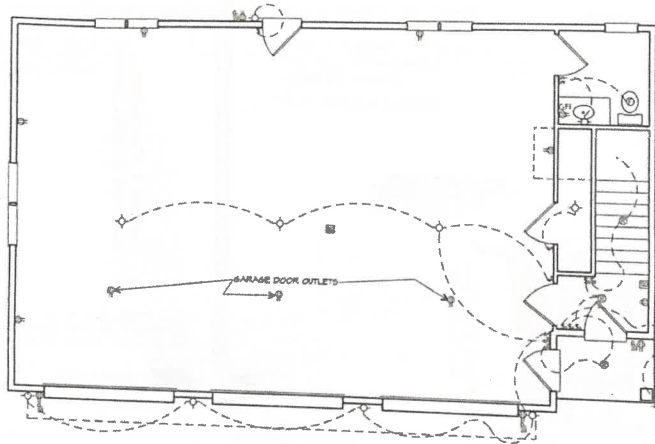
NOTE: LOCATE ALL CARBON MONOXIDE DETECTORS AS REQUIRED BY CODE

NOTE: LOCATE ALL EXTERIOR FLOOD LIGHTS PER OWNER LOCATION

ALL DIMENSIONS ARE COMPUTED MATHEMATICALLY TO NOT SCALE ANY DIMENSIONS. REPORT ALL DISCREPANCIES TO DK DESIGNS, INC. PRIOR TO ANY ORDER OF MATERIALS. ORDER SHALL BE THE RESPONSIBILITY OF DK DESIGNS, INC. SHALL BE TO CORRECT ANY DISCREPANCY ON THE PLANS. THE BUILDING CONTRACTORS RESPONSIBILITY. ALL STRUCTURAL MEMBERS SHALL BE SET OR EXCEED LOCAL COUNTY AND STATE BUILDING CODES. DK DESIGNS, INC. ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION ERRORS.



UPPER LEVEL ELECTRICAL PLAN



MAIN LEVEL ELECTRICAL PLAN

THIS IS A ONE TIME BUILD CONSTRUCTION LICENSE ISSUED 1-4-2022
THE CONSTRUCTION LICENSE TO BUILD THIS PLAN WAS ISSUED TO:
ANTHONY BERNARD
4 KINGS CROSSING
EAST GREENBUSH, NY 12061

NO ONE ELSE IS ALLOWED TO BUILD FROM THIS PLAN.
A SIGNED CONSTRUCTION LICENSE WAS ISSUED WITH THIS
PLAN FOR PROOF OF AUTHENTICITY. ALL BUILDING DEPARTMENTS
MUST ASK FOR THE CONSTRUCTION LICENSE BEFORE ISSUING A
BUILDING PERMIT FOR CONSTRUCTION TO BE PROTECTED AGAINST
ANY COPYRIGHT VIOLATION

www.dkplans.com



REVISION

SHEET OF

6P3D
ANTONVILLE

IF THIS STAMP IS NOT IN
RED THEN THIS IS AN
ILLEGAL SET OF PLANS

COPYRIGHT DK DESIGNS, INC. ALL RIGHTS
RESERVED. ANY REPRODUCTION,
REUSE, OR RESALE OF ANY PART
OF THESE PLANS IS STRICTLY PROHIBITED
UNLESS AUTHORIZED IN WRITING BY DK DESIGNS, INC.

DK DESIGNS, INC.
ATLANTA, GA
TIO-480-4495

DK DESIGNS, INC.

DK DESIGNS, INC.

ALL DIMENSIONS ARE COMPUTED MATHEMATICALLY
DO NOT SCALE ANY DRAWING. REPORT ALL DISCREPANCIES
TO THE DESIGNER PRIOR TO ANY WORK OR MATERIALS
ORDER. BIDDING LIABILITY FOR DIMENSIONS SHALL BE TO
CORRECT ANY DISCREPANCY ON THE PLAN. IT IS THE
STRUCTURAL ASPECTS OF THIS HOME ARE THE BUILDING
CONTRACTORS RESPONSIBILITY. ALL STRUCTURAL MEMBERS
SHOULD MEET OR EXCEED LOCAL, COUNTY AND STATE
BUILDING CODES. DK DESIGNS INC. ASSUMES NO RESPONSIBILITY
FOR CONSTRUCTION ERRORS.

NOTE: ALL BEAMS MUST HAVE DIRECT BEARING TO STRUCTURAL COMPONENTS BELOW (FOOTINGS, WALLS, COLUMNS, PIERS, ETC.) ALL JOIST TO BEAM AND BEAM TO BEAM CONNECTIONS TO BE MADE WITH APPROVED HANGERS.

NOTE: IT IS THE FRAMER AND BUILDING CONTRACTORS RESPONSIBILITY TO LOCATE DOUBLE AND TRIPLE JOIST UNDER ALL PARALLEL WALLS AND LOAD BEARING SITUATIONS.

COPYRIGHT DK DESIGNS, INC. ALL RIGHTS RESERVED. ANY DUPLICATION, DISTRIBUTION, RESALE OR REPRODUCTION OF ANY KIND TO THESE PLANS IS STRICTLY PROHIBITED UNLESS AUTHORIZED IN WRITING BY DK DESIGNS, INC.

OK DESIGNS, INC.
ATLANTA, GA
770-460-9440

DK DESIGNS, INC.

REVISION

5

も

www.dkplans.com



DK DESIGNS, INC.

GP3D
MINTONVILLE

UPPER LEVEL FLOOR PLAN

1/4" ----- 1'-0"

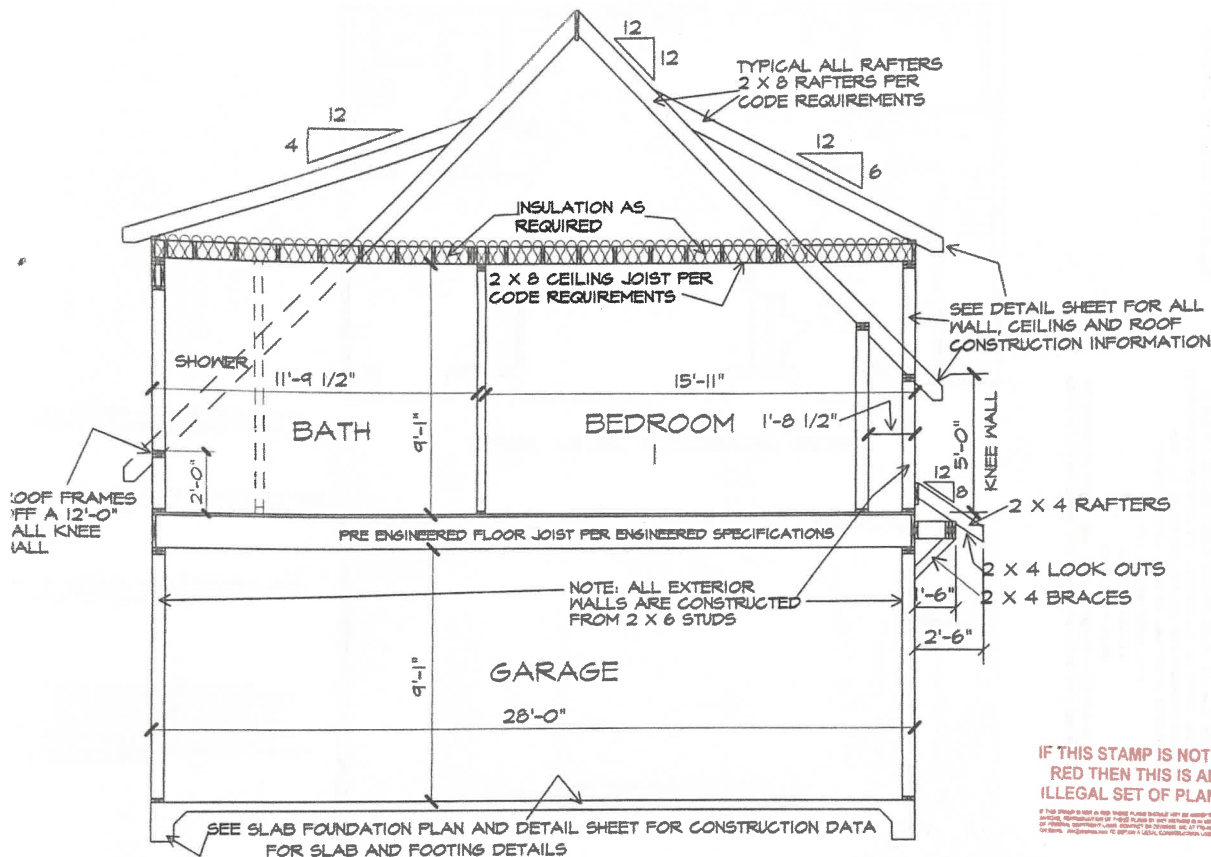
THIS IS A ONE TIME BUILD CONSTRUCTION LICENSE ISSUED 1-4-2022
THE CONSTRUCTION LICENSE TO BUILD THIS PLAN WAS ISSUED TO:

ANTHONY BERNARD
4 KRIS KROSSING
EAST GREENBUSH, NY 12061

NO ONE ELSE IS ALLOWED TO BUILD FROM THIS PLAN. A SIGNED CONSTRUCTION LICENSE WAS ISSUED WITH THIS PLAN FOR PROOF OF AUTHENTICITY. ALL BUILDING DEPARTMENTS MUST ASK FOR THE CONSTRUCTION LICENSE BEFORE ISSUING A BUILDING PERMIT FOR CONSTRUCTION TO BE PROTECTED AGAINST ANY COPYRIGHT VIOLATION

IF THIS STAMP IS NOT IN
RED THEN THIS IS AN
ILLEGAL SET OF PLANS

...the ...



CROSS SECTION DETAIL

THIS IS A ONE TIME BUILD CONSTRUCTION LICENSE ISSUED 1-4-2022
THE CONSTRUCTION LICENSE TO BUILD THIS PLAN WAS ISSUED TO:

ANTHONY BERNARD
4 KRIS CROSSING
EAST GREENBUSH, NY 12061

NO ONE ELSE IS ALLOWED TO BUILD FROM THIS PLAN.
A SIGNED CONSTRUCTION LICENSE WAS ISSUED WITH THIS
PLAN FOR PROOF OF AUTHENTICITY. ALL BUILDING DEPARTMENTS
MUST ASK FOR THE CONSTRUCTION LICENSE BEFORE ISSUING A
A BUILDING PERMIT FOR CONSTRUCTION TO BE PROTECTED AGAINST
ANY COPYRIGHT VIOLATION

COPYRIGHT DK DESIGNS, INC. ALL RIGHTS
RESERVED. ANY DUPLICATION, DISTRIBUTION
OR REPRODUCTION OF ANY KIND
WITHOUT THE WRITTEN PERMISSION OF
THESE PLANS IS STRICTLY PROHIBITED.
UNLESS AUTHORIZED IN WRITING BY DK DESIGNS, INC.

DK DESIGNS, INC.
ATLANTA, GA
770-460-4448

DK DESIGNS, INC.

REVISION

8

www.dkplans.com



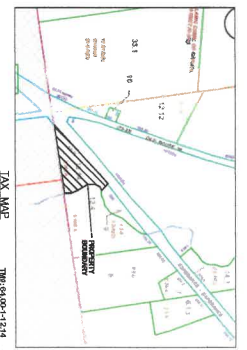
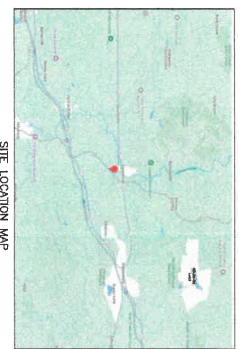
DK DESIGNS, INC.

GP3D
MINTONVILLE

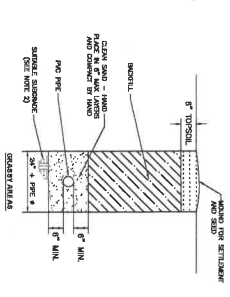
PARCEL INFORMATION			
COMPARISON	2008-00-00	2008-00-00	2008-00-00
LOT AREA	10,000-SF	10,000-SF	10,000-SF
LOT WIDTH	200-FT	200-FT	200-FT
LOT DEPTH	200-FT	200-FT	200-FT
LOT AREA	10,000-SF	10,000-SF	10,000-SF
LOT WIDTH	200-FT	200-FT	200-FT
LOT DEPTH	200-FT	200-FT	200-FT
LOT AREA	10,000-SF	10,000-SF	10,000-SF
LOT WIDTH	200-FT	200-FT	200-FT
LOT DEPTH	200-FT	200-FT	200-FT
LOT AREA	10,000-SF	10,000-SF	10,000-SF
LOT WIDTH	200-FT	200-FT	200-FT
LOT DEPTH	200-FT	200-FT	200-FT

PROJECT INFORMATION			
OWNER	AMERICAN RESIDENT	PROJECT NO.	2008-00-00
PROJECT NO.	2008-00-00	PROJECT NO.	2008-00-00
PROJECT NO.	2008-00-00	PROJECT NO.	2008-00-00
PROJECT NO.	2008-00-00	PROJECT NO.	2008-00-00
PROJECT NO.	2008-00-00	PROJECT NO.	2008-00-00
PROJECT NO.	2008-00-00	PROJECT NO.	2008-00-00
PROJECT NO.	2008-00-00	PROJECT NO.	2008-00-00
PROJECT NO.	2008-00-00	PROJECT NO.	2008-00-00
PROJECT NO.	2008-00-00	PROJECT NO.	2008-00-00
PROJECT NO.	2008-00-00	PROJECT NO.	2008-00-00

ABSORPTION FIELD DESIGN			
COMPARISON	2008-00-00	2008-00-00	2008-00-00
LOT AREA	10,000-SF	10,000-SF	10,000-SF
LOT WIDTH	200-FT	200-FT	200-FT
LOT DEPTH	200-FT	200-FT	200-FT
LOT AREA	10,000-SF	10,000-SF	10,000-SF
LOT WIDTH	200-FT	200-FT	200-FT
LOT DEPTH	200-FT	200-FT	200-FT
LOT AREA	10,000-SF	10,000-SF	10,000-SF
LOT WIDTH	200-FT	200-FT	200-FT
LOT DEPTH	200-FT	200-FT	200-FT
LOT AREA	10,000-SF	10,000-SF	10,000-SF

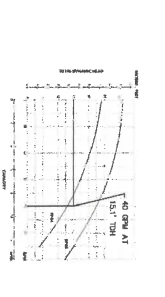


SHEET INDEX		
SHEET NO.	DESCRIPTION	SHEET ID.
1	SITE PLAN	C101
2	SITE DETAILS	C201



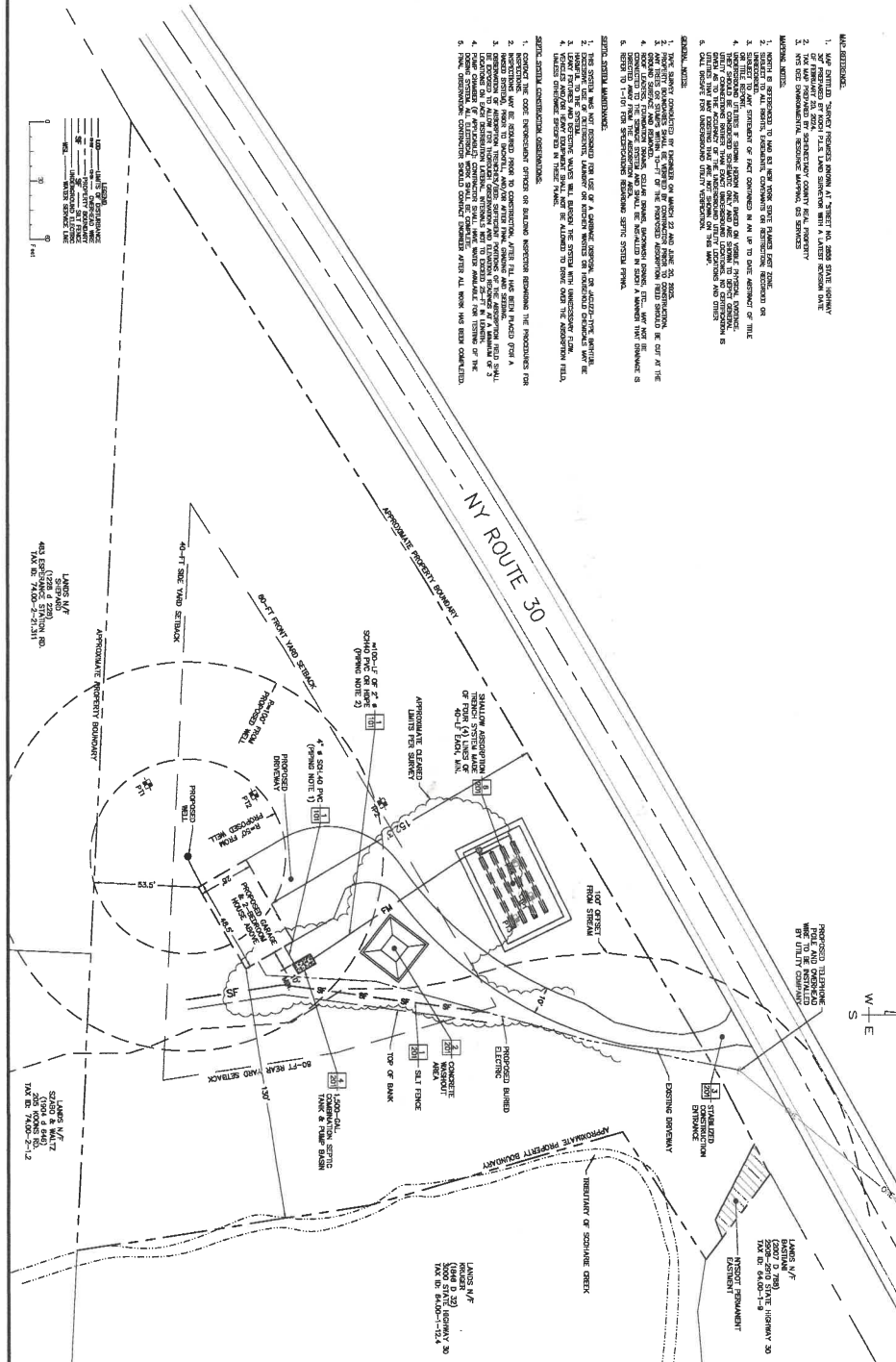
1. PIPE TRENCH AND BEDDING - TYPICAL

1. THE TRENCH SHALL BE 4' WIDE AT THE BOTTOM AND 6' WIDE AT THE TOP.
2. THE TRENCH SHALL BE 4' WIDE AT THE BOTTOM AND 6' WIDE AT THE TOP.
3. THE TRENCH SHALL BE 4' WIDE AT THE BOTTOM AND 6' WIDE AT THE TOP.
4. THE TRENCH SHALL BE 4' WIDE AT THE BOTTOM AND 6' WIDE AT THE TOP.
5. THE TRENCH SHALL BE 4' WIDE AT THE BOTTOM AND 6' WIDE AT THE TOP.
6. THE TRENCH SHALL BE 4' WIDE AT THE BOTTOM AND 6' WIDE AT THE TOP.
7. THE TRENCH SHALL BE 4' WIDE AT THE BOTTOM AND 6' WIDE AT THE TOP.
8. THE TRENCH SHALL BE 4' WIDE AT THE BOTTOM AND 6' WIDE AT THE TOP.
9. THE TRENCH SHALL BE 4' WIDE AT THE BOTTOM AND 6' WIDE AT THE TOP.
10. THE TRENCH SHALL BE 4' WIDE AT THE BOTTOM AND 6' WIDE AT THE TOP.



2. PUMP STATION

1. THE PUMP STATION SHALL BE 10' WIDE BY 10' DEEP.
2. THE PUMP STATION SHALL BE 10' WIDE BY 10' DEEP.
3. THE PUMP STATION SHALL BE 10' WIDE BY 10' DEEP.
4. THE PUMP STATION SHALL BE 10' WIDE BY 10' DEEP.
5. THE PUMP STATION SHALL BE 10' WIDE BY 10' DEEP.
6. THE PUMP STATION SHALL BE 10' WIDE BY 10' DEEP.
7. THE PUMP STATION SHALL BE 10' WIDE BY 10' DEEP.
8. THE PUMP STATION SHALL BE 10' WIDE BY 10' DEEP.
9. THE PUMP STATION SHALL BE 10' WIDE BY 10' DEEP.
10. THE PUMP STATION SHALL BE 10' WIDE BY 10' DEEP.



OWNER
BERNARD RESIDENCE
2861 NY ROUTE 30
BERNARD, NY 12808
BERNARD@BERNARD.COM

DESIGNER
DAVID M. DUBO, P.E.
K.N.S. INC. 09853
DAVID@KNSINC.COM

DATE
08-23-2025
PROJECT
C101

REVISIONS

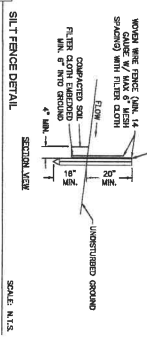
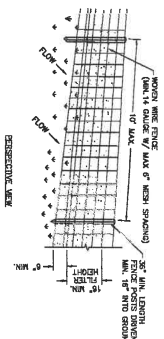
No.	Revision Description	Date
1	FOR ANY DESIGN CHANGES	
2	FOR ANY DESIGN CHANGES	

NOTES

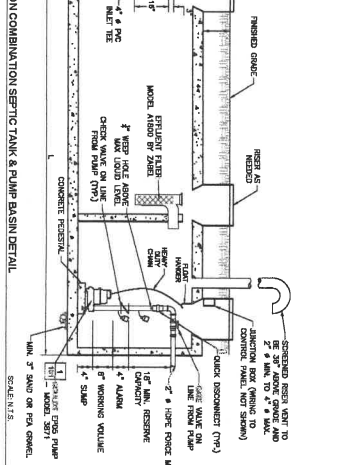
1. THE SITE PLAN SHALL BE 10' WIDE BY 10' DEEP.
2. THE SITE PLAN SHALL BE 10' WIDE BY 10' DEEP.
3. THE SITE PLAN SHALL BE 10' WIDE BY 10' DEEP.
4. THE SITE PLAN SHALL BE 10' WIDE BY 10' DEEP.
5. THE SITE PLAN SHALL BE 10' WIDE BY 10' DEEP.
6. THE SITE PLAN SHALL BE 10' WIDE BY 10' DEEP.
7. THE SITE PLAN SHALL BE 10' WIDE BY 10' DEEP.
8. THE SITE PLAN SHALL BE 10' WIDE BY 10' DEEP.
9. THE SITE PLAN SHALL BE 10' WIDE BY 10' DEEP.
10. THE SITE PLAN SHALL BE 10' WIDE BY 10' DEEP.

LEGEND

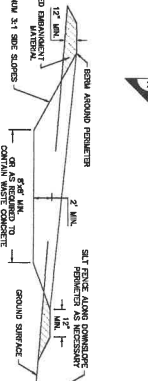
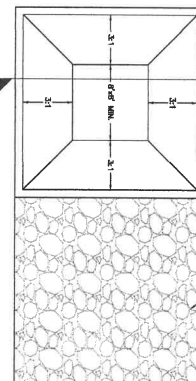
- PROPOSED STRUCTURE
- EXISTING STRUCTURE
- PROPOSED ROAD
- EXISTING ROAD
- PROPOSED UTILITY
- EXISTING UTILITY
- PROPOSED FENCE
- EXISTING FENCE
- PROPOSED DRIVEWAY
- EXISTING DRIVEWAY
- PROPOSED PORCH
- EXISTING PORCH
- PROPOSED DECK
- EXISTING DECK
- PROPOSED PATIO
- EXISTING PATIO
- PROPOSED TERRACE
- EXISTING TERRACE
- PROPOSED WALKWAY
- EXISTING WALKWAY
- PROPOSED STAIRS
- EXISTING STAIRS
- PROPOSED RAMP
- EXISTING RAMP
- PROPOSED CURB
- EXISTING CURB
- PROPOSED GUTTER
- EXISTING GUTTER
- PROPOSED DRAINAGE
- EXISTING DRAINAGE
- PROPOSED SEWER
- EXISTING SEWER
- PROPOSED WATER
- EXISTING WATER
- PROPOSED GAS
- EXISTING GAS
- PROPOSED ELECTRIC
- EXISTING ELECTRIC
- PROPOSED TELEPHONE
- EXISTING TELEPHONE
- PROPOSED CABLE
- EXISTING CABLE
- PROPOSED SATELLITE
- EXISTING SATELLITE
- PROPOSED ANTENNA
- EXISTING ANTENNA
- PROPOSED SIGN
- EXISTING SIGN
- PROPOSED LIGHT
- EXISTING LIGHT
- PROPOSED FURNITURE
- EXISTING FURNITURE
- PROPOSED PLANT
- EXISTING PLANT
- PROPOSED TREE
- EXISTING TREE
- PROPOSED SHrub
- EXISTING SHrub
- PROPOSED Flower
- EXISTING Flower
- PROPOSED Grass
- EXISTING Grass
- PROPOSED Soil
- EXISTING Soil
- PROPOSED Rock
- EXISTING Rock
- PROPOSED Sand
- EXISTING Sand
- PROPOSED Gravel
- EXISTING Gravel
- PROPOSED Cobble
- EXISTING Cobble
- PROPOSED Boulders
- EXISTING Boulders
- PROPOSED Logs
- EXISTING Logs
- PROPOSED Stumps
- EXISTING Stumps
- PROPOSED Limbs
- EXISTING Limbs
- PROPOSED Canopies
- EXISTING Canopies
- PROPOSED Foliage
- EXISTING Foliage
- PROPOSED Bark
- EXISTING Bark
- PROPOSED Heart
- EXISTING Heart
- PROPOSED Seed
- EXISTING Seed
- PROPOSED Fruit
- EXISTING Fruit
- PROPOSED Flower
- EXISTING Flower
- PROPOSED Leaf
- EXISTING Leaf
- PROPOSED Stem
- EXISTING Stem
- PROPOSED Root
- EXISTING Root
- PROPOSED Branch
- EXISTING Branch
- PROPOSED Twig
- EXISTING Twig
- PROPOSED Sprig
- EXISTING Sprig
- PROPOSED Shoot
- EXISTING Shoot
- PROPOSED Bud
- EXISTING Bud
- PROPOSED Flower
- EXISTING Flower
- PROPOSED Fruit
- EXISTING Fruit
- PROPOSED Seed
- EXISTING Seed
- PROPOSED Plant
- EXISTING Plant
- PROPOSED Tree
- EXISTING Tree
- PROPOSED Shrub
- EXISTING Shrub
- PROPOSED Flower
- EXISTING Flower
- PROPOSED Leaf
- EXISTING Leaf
- PROPOSED Stem
- EXISTING Stem
- PROPOSED Root
- EXISTING Root
- PROPOSED Branch
- EXISTING Branch
- PROPOSED Twig
- EXISTING Twig
- PROPOSED Sprig
- EXISTING Sprig
- PROPOSED Shoot
- EXISTING Shoot
- PROPOSED Bud
- EXISTING Bud



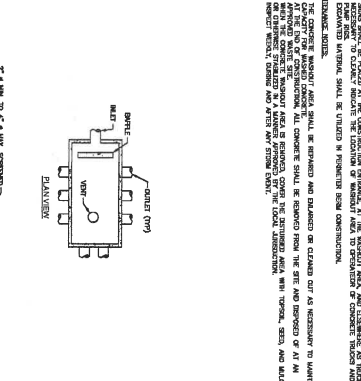
1. SEE PLAN FOR LOCATION OF CONCRETE FOUNDATION.
2. CONCRETE FOUNDATION SHALL BE MINIMUM 12\"/>



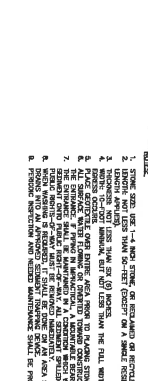
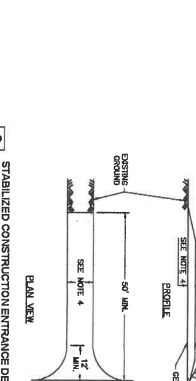
1. SEE PLAN FOR LOCATION OF CONCRETE FOUNDATION.
2. CONCRETE FOUNDATION SHALL BE MINIMUM 12\"/>



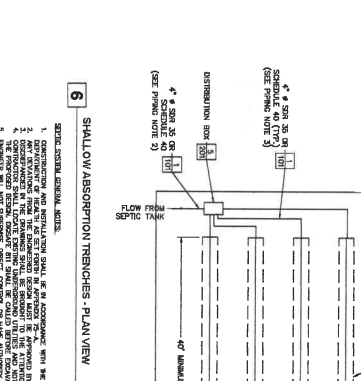
1. SEE PLAN FOR LOCATION OF CONCRETE FOUNDATION.
2. CONCRETE FOUNDATION SHALL BE MINIMUM 12\"/>



1. SEE PLAN FOR LOCATION OF CONCRETE FOUNDATION.
2. CONCRETE FOUNDATION SHALL BE MINIMUM 12\"/>



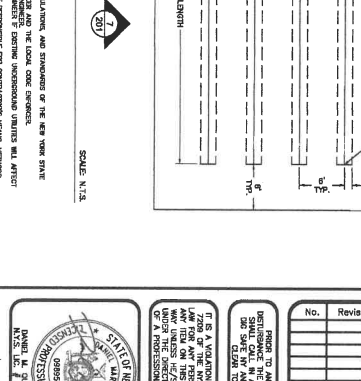
1. SEE PLAN FOR LOCATION OF CONCRETE FOUNDATION.
2. CONCRETE FOUNDATION SHALL BE MINIMUM 12\"/>



1. SEE PLAN FOR LOCATION OF CONCRETE FOUNDATION.
2. CONCRETE FOUNDATION SHALL BE MINIMUM 12\"/>



1. SEE PLAN FOR LOCATION OF CONCRETE FOUNDATION.
2. CONCRETE FOUNDATION SHALL BE MINIMUM 12\"/>



1. SEE PLAN FOR LOCATION OF CONCRETE FOUNDATION.
2. CONCRETE FOUNDATION SHALL BE MINIMUM 12\"/>

DETAILS

DATE: 08-23-2025

BY: [Signature]

PROJECT: 25005

STREET/LOT RESIDENCE

STREET/LOT RESIDENCE

STREET/LOT RESIDENCE

STREET/LOT RESIDENCE

STREET/LOT RESIDENCE

STREET/LOT RESIDENCE

STREET/LOT RESIDENCE

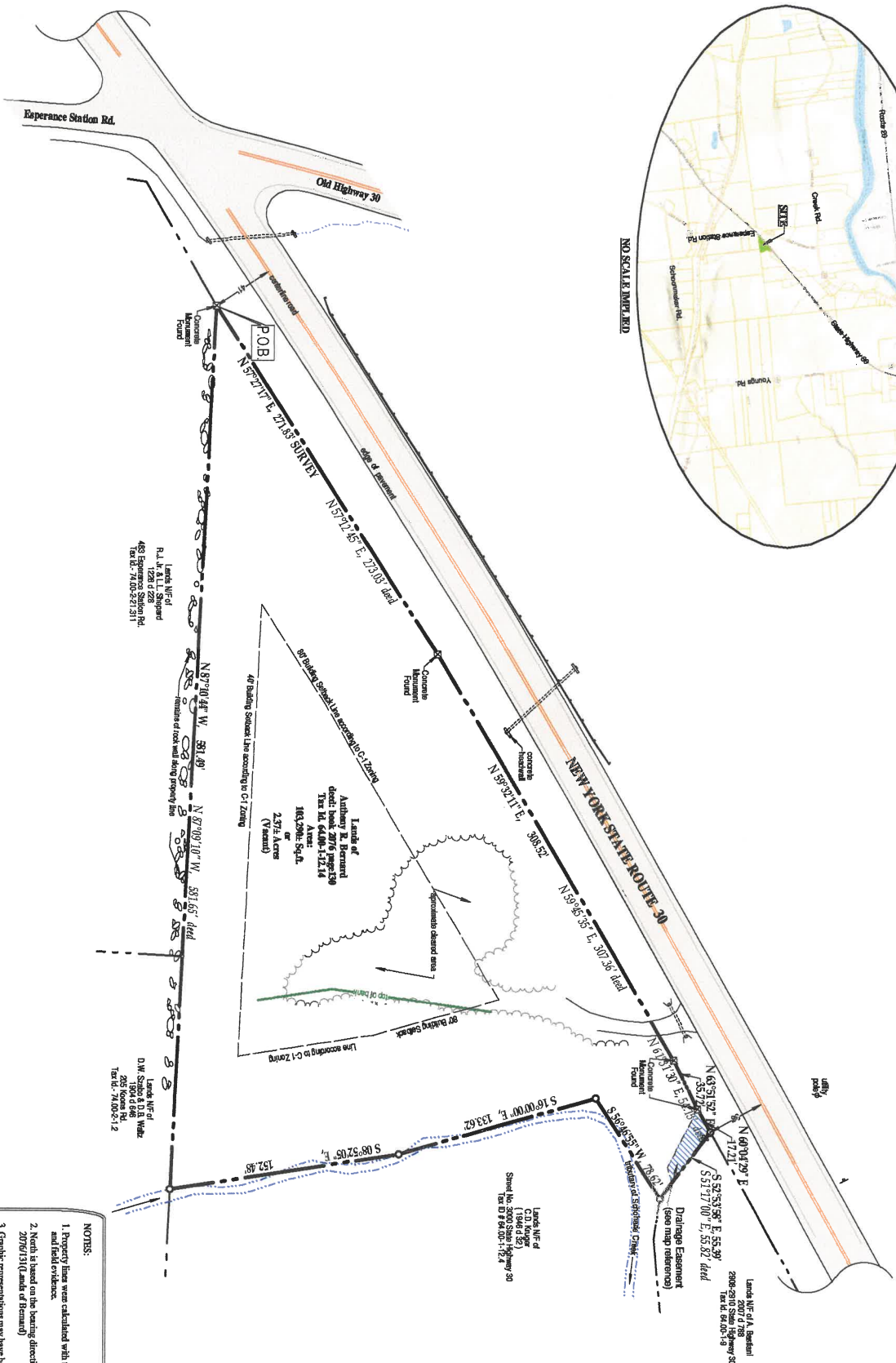
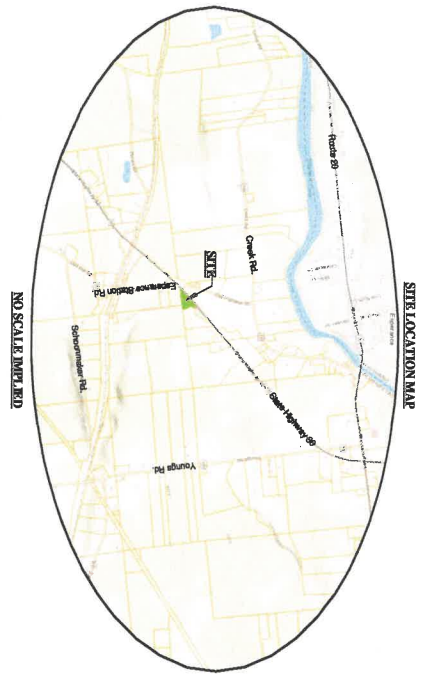
STREET/LOT RESIDENCE

STREET/LOT RESIDENCE

STREET/LOT RESIDENCE

STREET/LOT RESIDENCE

STREET/LOT RESIDENCE



EASEMENT MAP REFERENCE
 "NEW YORK STATE DEPARTMENT OF
 TRANSPORTATION ACQUISITION MAP"
 ESPRANCE - ESPRANCE STATION
 S.H. NO. 1028, MAP NO. 27, PARCEL NO. 36

- NOTES:**
1. Property lines were indicated with the use of adjoining subject-deed descriptions and field evidence.
 2. North is based on the bearing direction taken from subject deed 20761316 (Arlis de Bezmud)
 3. Graphic representations may have been exaggerated to more clearly illustrate the location of individuality; dimensions shall have precedence over scaled pictures.
 4. Due to seasonal snow cover and/or ground frost, the location and identification of some improvements including walkways, driveway, patios, landscaping, etc. may not be completely reproduced or shown.
 5. Property is located in the Commercial (C-1) Zone of the Town of Danversburg

Surveys' results. And, indeed, approvals today tend to be more properly located and more sincere, unless otherwise noted. Any underground utilities and underground improvements lying within an abject property have been located or shown. The results of survey was prepared without benefit of an abstract file. HANMON & KOCH Professional Ltd. surveys and drilling surveys are in no way liable or responsible for right of ways, easements, or setbacks other than those provided by the client and owner on the record plat. Lands shown hereon may be subject to reduction, easements, and/or restrictions not shown on the record plat.

RAYMOND A.

Koch
P.L.S.
LAND SURVEYOR
133 MOHAWK AVENUE
SCOTTA, NEW YORK 12301
email: kochsurveyor@gmail.com
phone: (518) 393-0989

advising that this survey was prepared in accordance with the coding (Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors and certification shall run only to the person for whom the survey is originally prepared, and on their behalf to the title company, professional agency and hearing institution listed herein and to the signifier of the hearing institution. Certifications are not transferable to additional institutions or subsequent owners.

DATE	BY	DESCRIPTION	AMOUNT	CHECK NO.	DATE
2/20/20	JB	Location of top of bank			

DATE: JANUARY 26, 2004
SCALE: 1" = 50'

"Transformed absorption or addition to a survey map bearing a license and seal of a surveyor is not sufficient to establish the goal is a violation of Section 209, subsection 2, of the New York State Education Law"

JOHN WILLIAMS, ALLEGED, BOARD #019554
WILLIAM WILLIAMS, BOARD #A39565, ALLEGED

TITLE.	PLANNING	STATE OF NEW YORK	SCHENECTADY
	SURVEY OF PREMISES KNOWN AS STREET No. 2836 STATE HIGHWAY 30		

Koch
P.L.S.
LAND SURVEYOR
133 MOHAWK AVENUE
SCOTIA, NEW YORK 12301
email: kochsurveyor@gmail.com
phone: (518) 393-0989

advising that this survey was prepared in accordance with the coding (Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors and certification shall run only to the person for whom the survey is originally prepared, and on their behalf to the title company, professional agency and hearing institution listed herein and to the signifier of the hearing institution. Certifications are not transferable to additional institutions or subsequent owners.

DATE	BY	DESCRIPTION	AMOUNT	CHECK NO.	DATE
2/20/20	JB	Location of top of bank			

FRONT ELEVATION
1/4" = 1'-0"

ALL DIMENSIONS ARE COMPUTED MATHEMATICALLY
DO NOT SCALE ANY DRAWING. REPORT ALL DISCREPANCIES
ORDER, INCLUDING LIABILITY TO ANY WORK ON MATERIALS
CORRECT ANY DISCREPANCY ON THE DRAWING. IT SHALL BE
THE RESPONSIBILITY OF THE USER TO VERIFY ALL
STRUCTURAL ASPECTS OF THIS HOME ARE IN ACCORD
CONTRACTORS RESPONSIBILITY. ALL STRUCTURAL MEMBERS
SHOULD MEET OR EXCEED LOCAL, COUNTY AND STATE
BUILDING CODES. DK DESIGN, INC. ASSUMES NO RESPONSIBILITY
FOR CONSTRUCTION DEFECTS.

DK DESIGNS, INC.
ATLANTA, GA
770-460-4445

DK DESIGNS, INC.

REVISION

9

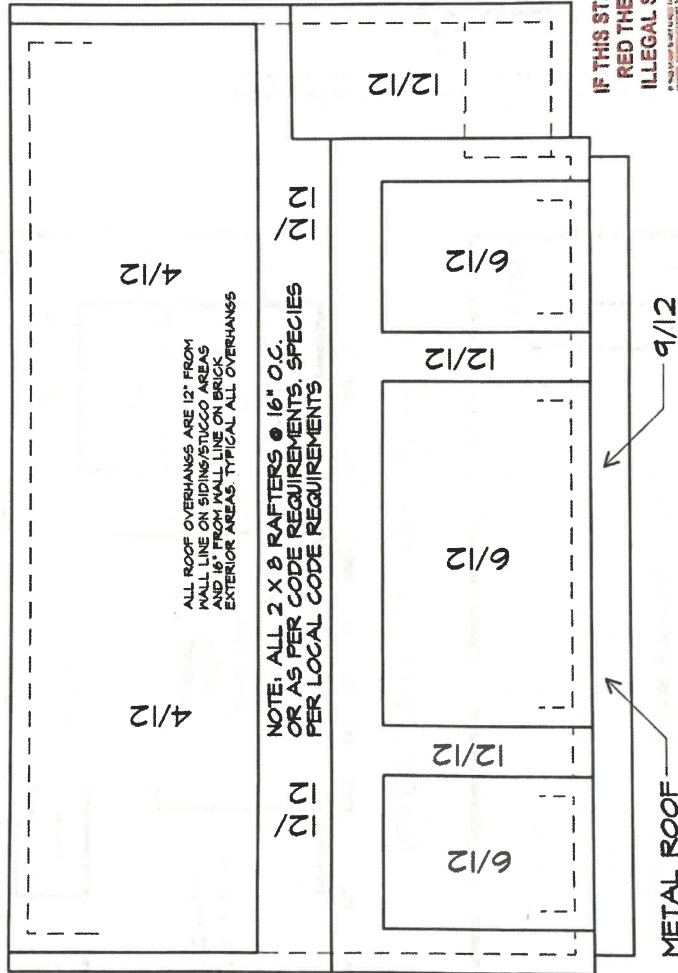
SHEET



www.dkplans.com

GP3D
MINTONVILLE

COPYRIGHT DK DESIGNS, INC. ALL RIGHTS
RESERVED. ANY DUPLICATION, DISTRIBUTION
TO THESE PLANS IS STRICTLY PROHIBITED
UNLESS AUTHORIZED IN WRITING BY DK DESIGNS, INC.



IF THIS STAMP IS NOT IN
RED THEN THIS IS AN
ILLEGAL SET OF PLANS

THIS IS A ONE TIME BUILD CONSTRUCTION LICENSE ISSUED 1-4-2022
THE CONSTRUCTION LICENSE TO BUILD THIS PLAN WAS ISSUED TO:
ANTHONY BERNARD
4 KRIS CROSSING
EAST GREENBUSH, NY 12061

ROOF PLAN
1/4" ----- 1'-0"

ALL DIMENSIONS ARE GIVEN UNLESS OTHERWISE
NOTED. DO NOT SCALE ANY DRAWING. REPORT ALL DISCREPANCIES
TO DK DESIGNS, INC. PRIOR TO ANY WORK OR MATERIALS
ORDER. CORRECT ANY DISCREPANCY OR THE PLANTER'S SELF. ALL
STRUCTURAL ASPECTS OF THIS PLAN ARE THE RESPONSIBILITY OF
THE USER. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL
NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR OBTAINING
ALL NECESSARY LOCAL, COUNTY AND STATE
PERMITS. DK DESIGNS, INC. ASSUMES NO RESPONSIBILITY
FOR CONSTRUCTION ERRORS.

THIS IS A ONE TIME BUILD CONSTRUCTION LICENSE ISSUED 1-4-2022
THE CONSTRUCTION LICENSE TO BUILD THIS PLAN WAS ISSUED TO:
ANTHONY BERNARD
4 KRIS CROSSING
EAST GREENBUSH, NY 12061

ANTHONY BERNARD
4 KRIS CROSSING
EAST GREENBUSH, NY 12061

NO ONE ELSE IS ALLOWED TO BUILD FROM THIS PLAN.
A SIGNED CONSTRUCTION LICENSE WAS ISSUED WITH THIS
PLAN FOR PROOF OF AUTHENTICITY. ALL BUILDING DEPARTMENTS
MUST ASK FOR THE CONSTRUCTION LICENSE BEFORE ISSUING A
BUILDING PERMIT FOR CONSTRUCTION TO BE PROTECTED AGAINST
ANY COPYRIGHT VIOLATION.

DK DESIGNS, INC.
ATLANTA, GA
770-460-4445

DK DESIGNS, INC.

REVISION

SHEET

www.dkplans.com
DK DESIGNS, INC.

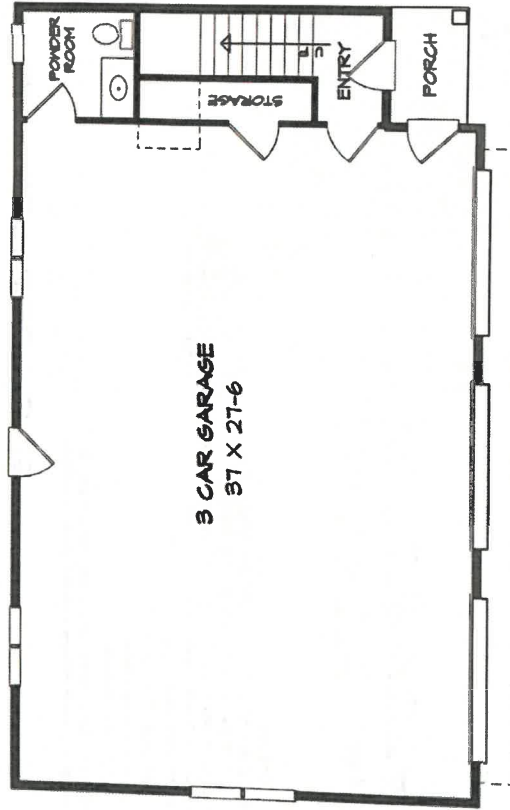
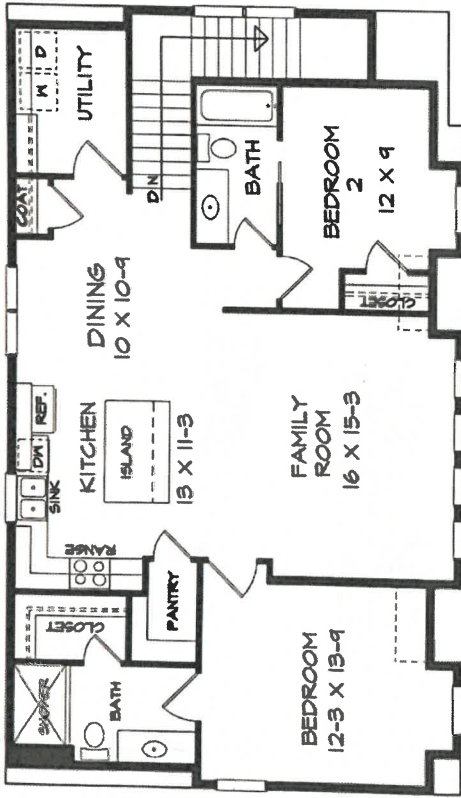
GP3D
MINTONVILLE

COPYRIGHT DK DESIGNS, INC. ALL RIGHTS
RESERVED ANY DUPLICATION, DISTRIBUTION
TO THESE PLANS IS STRICTLY PROHIBITED
UNLESS AUTHORIZED IN WRITING BY DK DESIGNS, INC.

THIS IS A ONE TIME BUILD CONSTRUCTION LICENSE ISSUED 1-4-2022
THE CONSTRUCTION LICENSE TO BUILD THIS PLAN WAS ISSUED TO:
ANTHONY DEWARD
4 KINGS CROSSING
EAST GREENBUSH, NY 12061
NO ONE ELSE IS ALLOWED TO BUILD FROM THIS PLAN.
A SIGNED CONSTRUCTION LICENSE WAS ISSUED WITH THIS
PLAN FOR PROOF OF AUTHENTICITY. ALL BUILDING DEPARTMENTS
MUST ASK FOR THE CONSTRUCTION LICENSE BEFORE ISSUING A
BUILDING PERMIT FOR CONSTRUCTION TO BE PROTECTED AGAINST
ANY COPYRIGHT VIOLATION

IF THIS STAMP IS NOT IN
RED THEN THIS IS AN
ILLEGAL SET OF PLANS

WIDTH - 48'-6"
DEPTH - 28'-0"



DK DESIGNS, INC.
ATLANTA, GA
770-460-4445

DK DESIGNS, INC.

REVISION

8

SHEET

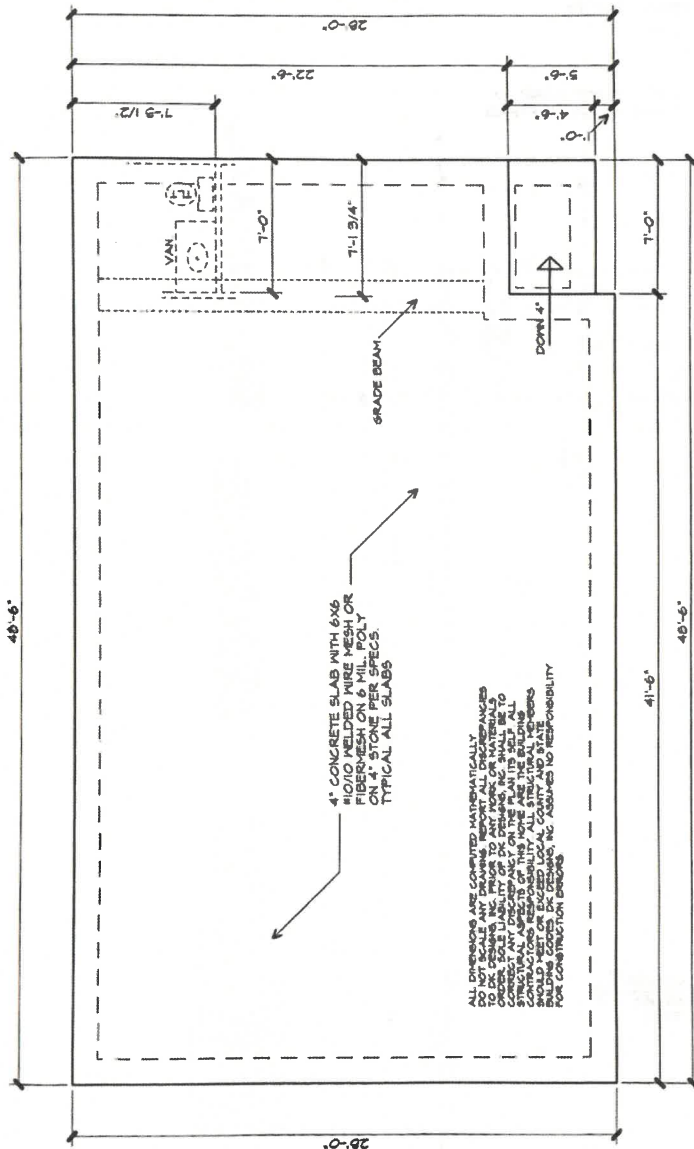
DK DESIGNS, INC.



www.dkplans.com

GP3D
MINTONVILLE

COPYRIGHT DK DESIGNS, INC. ALL RIGHTS RESERVED. ANY DUPLICATION, DISTRIBUTION, RESALE OR REPRODUCTION OF ANY KIND TO THESE PLANS IS STRICTLY PROHIBITED UNLESS AUTHORIZED IN WRITING BY DK DESIGNS, INC.



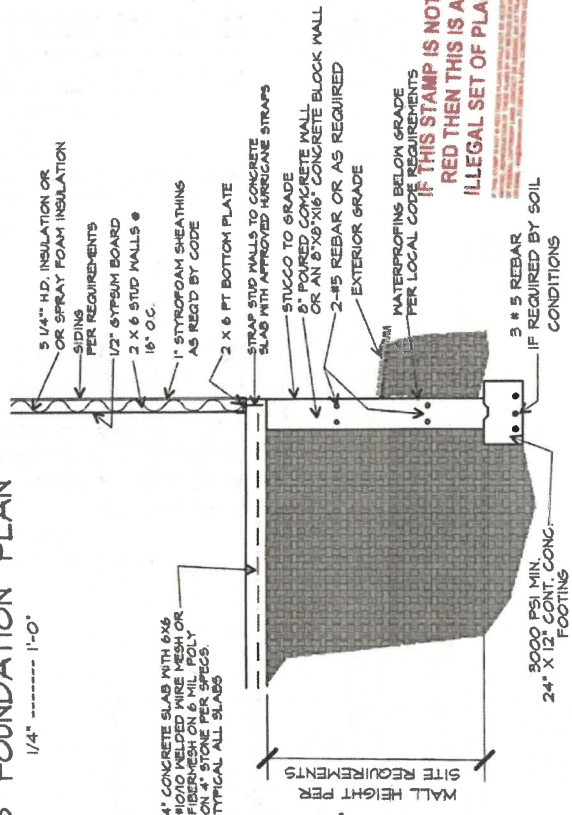
SLAB FOUNDATION PLAN

1/4" = 1'-0"

THIS IS A ONE THE BUILD CONSTRUCTION LICENSE ISSUED 1-4-2022 THE CONSTRUCTION LICENSE TO BUILD THIS PLAN WAS ISSUED TO:

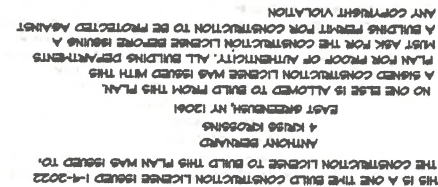
ANTHONY BERNARD
4 KRUSE KROENING
EAST GREENBUSH, NY 12041

NO ONE ELSE IS ALLOWED TO BUILD FROM THIS PLAN. A SIGNED CONSTRUCTION LICENSE WAS ISSUED WITH THIS PLAN FOR PROOF OF AUTHENTICITY. ALL BUILDING DEPARTMENTS MUST ASK FOR THE CONSTRUCTION LICENSE BEFORE ISSUING A BUILDING PERMIT FOR CONSTRUCTION TO BE PROTECTED AGAINST ANY COPYRIGHT VIOLATION



OPTIONAL STEM WALL FOUNDATION SECTION

MAIN LEVEL - 1204 SQ. FT.
UPPER LEVEL - 1114 SQ. FT.
TOTAL = 2318 SQ. FT.

SECTION CUT
LINE[illegible]

SN
N
NI

DK DESIGNS, INC.
ATLANTA, GA.
770-440-0000

DK DESIGNS, INC.

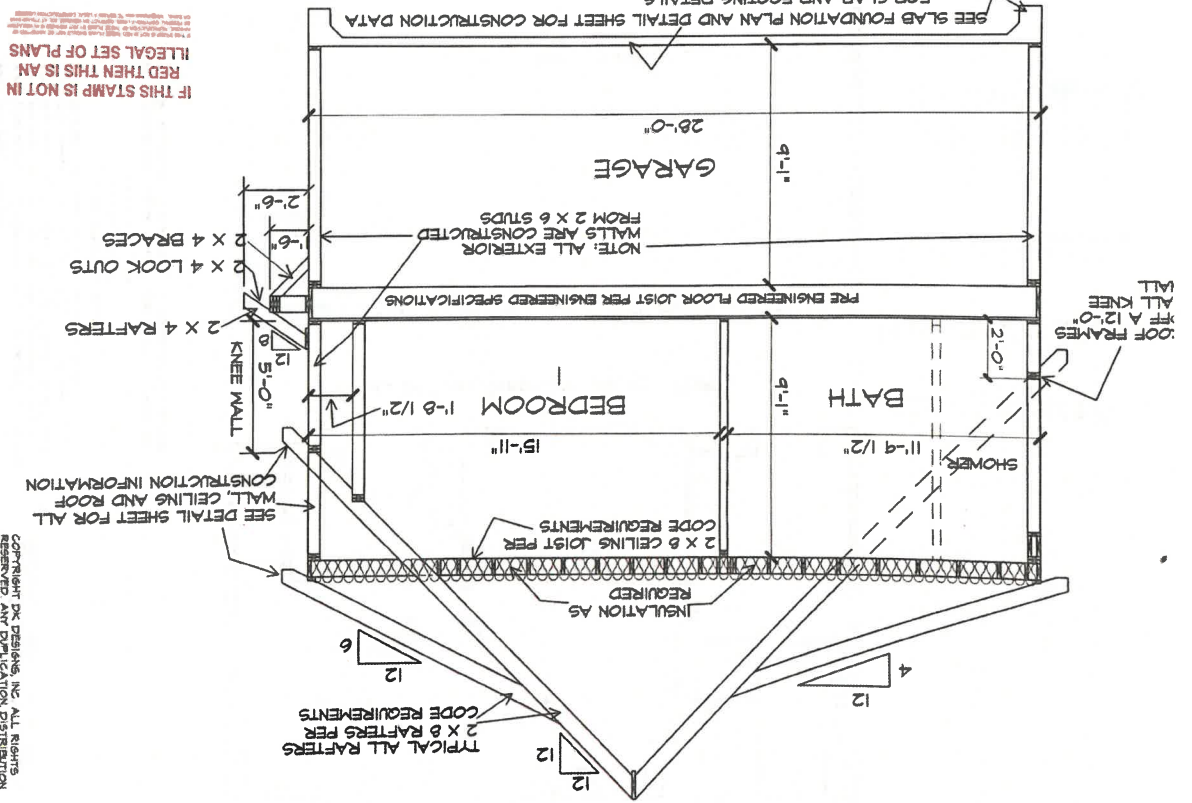
DK DESIGNS, INC.
www.dkplans.com

NO

NO

CROSS SECTION DETAIL

THIS IS A ONE TIME BUILD CONSTRUCTION LICENSE ISSUED 1-4-2022
 THE CONSTRUCTION LICENSE TO BUILD THIS PLAN WAS ISSUED TO:
 ANTHONY BROWARD
 4 KINGS CROSSING
 EAST GREENBUSH, NY 12061
 NO ONE ELSE IS ALLOWED TO BUILD FROM THIS PLAN
 A SIGNED CONSTRUCTION LICENSE WAS ISSUED WITH THIS
 PLAN FOR PROOF OF AUTHENTICITY. ALL BUILDING DEPARTMENTS
 MUST ASK FOR THE CONSTRUCTION LICENSE BEFORE ISSUING A
 A BUILDING PERMIT FOR CONSTRUCTION TO BE PROTECTED AGAINST
 ANY COPYRIGHT VIOLATION



COPYRIGHT DK DESIGNS, INC. ALL RIGHTS RESERVED. NO REPRODUCTION, DISTRIBUTION, OR ANY KIND OF COMMERCIAL USE IS PERMITTED WITHOUT THE WRITTEN PERMISSION OF DK DESIGNS, INC.

6P3D
 MINTONVILLE



DK DESIGNS, INC.

REVISION

DK DESIGNS, INC.

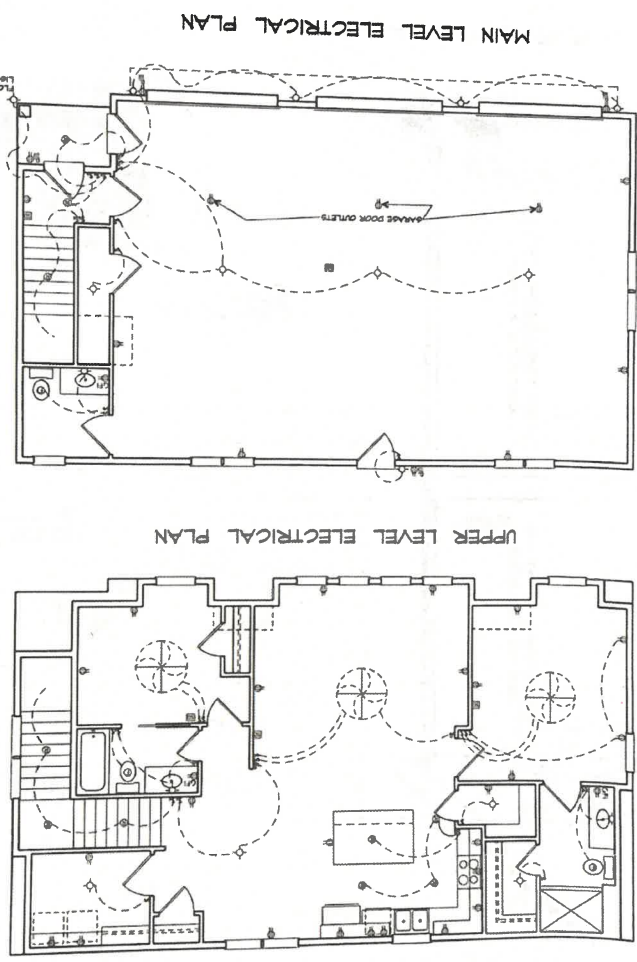
DK DESIGNS, INC.
 ATLANTA, GA
 770-460-1145

NOTE: REVIEW ALL ELECTRICAL WITH OWNER / BUILDER BEFORE INSTALLATION

NOTE: LOCATE ALL CARBON MONOXIDE DETECTORS AS REQUIRED BY CODE

NOTE: LOCATE ALL EXTERIOR FLOOD LIGHTS PER OWNER LOCATION

ALL PROVISIONS ARE GOVERNED BY THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 70B. THE DESIGNER SHALL BE RESPONSIBLE FOR THE PROPER LOCATION AND INSTALLATION OF ALL ELECTRICAL EQUIPMENT. THE DESIGNER SHALL BE RESPONSIBLE FOR THE PROPER LOCATION AND INSTALLATION OF ALL ELECTRICAL EQUIPMENT. THE DESIGNER SHALL BE RESPONSIBLE FOR THE PROPER LOCATION AND INSTALLATION OF ALL ELECTRICAL EQUIPMENT.



IF THIS STAMP IS NOT IN RED THEN THIS IS AN ILLEGAL SET OF PLANS

THIS IS A ONE TIME BUILD CONSTRUCTION LICENSE ISSUED 1-4-2022
 THE CONSTRUCTION LICENSE TO BUILD THIS PLAN WAS ISSUED TO:
 ANTHONY BERNARD
 4 KINGS KITCHENS
 EAST GREENWICH, NY 12061

NO ONE ELSE IS ALLOWED TO BUILD FROM THIS PLAN.
 A SIGNED CONSTRUCTION LICENSE WAS ISSUED WITH THIS PLAN FOR PROOF OF AUTHENTICITY. ALL BUILDING DEPARTMENTS MUST ASK FOR THE CONSTRUCTION LICENSE BEFORE ISSUING A BUILDING PERMIT FOR CONSTRUCTION TO BE PROTECTED AGAINST ANY COPYRIGHT VIOLATION

COPYRIGHT DK DESIGNS, INC. ALL RIGHTS RESERVED
 NO REUSE OR REPRODUCTION OF ANY KIND
 IS PERMITTED WITHOUT THE WRITTEN PERMISSION OF DK DESIGNS, INC.

GP3D
ANTONVILLE

www.diplans.com

DK DESIGNS, INC.

DK DESIGNS, INC.

ATLANTA GA
770-460-4445

[illegible][illegible]

DK DESIGNS, INC.
ATLANTA, GA
770-460-9445

CLIMATIC & GEOGRAPHIC DESI

- ## ENERGY NOTES

[illegible]

INLET AND WAF FLOOR AREA, SQUARE FEET	NUMBER OF EXTERIORS					
	0-1	2-3	4-5	6-7	7-9	10-11
1,500	20	46	70	75	80	105
1,051-2,000	43	75	80	90	105	130
301-1,050	80	75	80	105	120	170
4,051-6,000	75	80	105	120	135	185
6,001-7,500	80	105	120	135	150	185
7,501	105	120	135	150	165	185

- ### GARAGE NOTES

- ## FOUNDATION NOTES

- [illegible]

THAT ARE PROVIDED WITH WINDOW OPENING C

- [illegible]

the table with moderate to severe, slight to moderate, or

1. 6" OSG BOARD SHALL BE GLUED AND NAIL SECURED ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
2. ROOF AND WALL SHEATHING SHALL BE Nailed ACCORDING TO NAILING SCHEDULE.
3. ALL PLATES SHALL BE PRESSURE-TREATED WOOD OR WOOD OF NATURAL WEIRTH PAINTED TO DECAY.
4. WALLS GREATER THAN 10 FT IN HEIGHT SHALL COMPLY WITH STATE CODES.
5. FINISHED INTERIORS SHALL NOT BE IN CONTACT WITH EXTERIOR WALLS.
6. FINISHED WALLS SHALL BE Nailed TO STUDS OR JOISTED IN ACCORD TO NAILING SCHEDULE (SEE CODES).
7. FLOORING SHALL BE Nailed TO JOISTS OR STUDS IN ACCORD TO NAILING SCHEDULE (SEE CODES).
8. FLOOR MATERIALS SHALL BE Nailed TO JOISTS OR STUDS IN ACCORD TO NAILING SCHEDULE (SEE CODES).
9. ALL DOOR AND WINDOW FRAMES SHALL BE Nailed TO EXTERIOR WALLS.

CLIMATIC & GEOGRAPHIC DESIGN CRITERIA					
GROUND LEVEL (m)		SUBJECT TO DRAINAGE FROM		WINTER TEMPERATURE RECORDED	FOOD WAREHOUSE
DESIGN CATEGORY		FLOOD LIMIT	TERRACE DRAINAGE		STANDARD SINKING INDEX
50		SWITCHING DEPTH	ENCLAY		1985
115	C	SEVERE	BULFITT	74°	1980

[illegible][illegible]

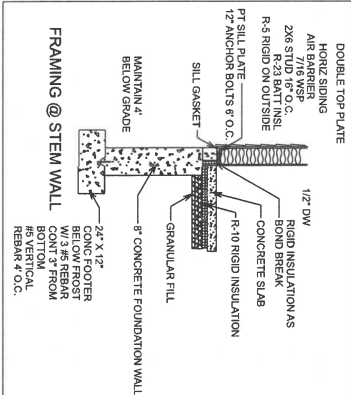
DESIGN LOADS	
ROOF	SEE TABLE FOR ALL 15 mph (24)
FLOOR	40 psf LL, 10 psf DL
FLOOR (LIVING ROOM)	40 psf LL, 10 psf DL
STAIR	30 psf LL, 10 psf DL
HANDRAILS	40 psf
GAZEBO	40 psf
DECK	40 psf
EXTENSION BALCONIES	40 psf
ATTIC AND STORAGE	10 psf
ATRIC (NO STORAGE)	10 psf

[illegible]

EXEMPT REGISTRATION
ROBERT MANN, PE
CONTRACT MANAGER
10000 W. 10TH AVE., SUITE 100
PO BOX 1155
DENVER, CO 80202
303.756.4348

100% TISSUE-BAFFLING GIFT

- 13.1.2.1 WINDOW SILL: IN DETAILING LISTS, WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW IS LOCATED LESS THAN 24 INCHES (610 MM) ABOVE THE FINISHED FLOOR AND GREATER THAN 48 INCHES (1219 MM) ABOVE THE FINISHED GRADE, OR WHERE A SHOCK BOLT RUNS ON THE EXTERIOR OF THE BUILDING, THE ABOVE WINDOW SHALL COMPLY WITH ONE OF THE FOLLOWING:
 1. OPERABLE WINDOW WITH OPENING THAT WILL NOT ALLOW A 4-INCH-WIDE (102-MM) STRIKE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN A NON-IMPACT ORIEDNED POSITION
 2. OPERABLE WINDOW THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2000
 3. OPERABLE WINDOW THAT ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH SECTION 13.13.2

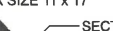


WARNING
IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW
OR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF
LICENSED PROFESSIONAL ENGINEER, TO ALTER IN ANY WAY
PLANS, SPECIFICATIONS, PLOTS OR REPORTS TO WHICH THE
SEAL OF PROFESSIONAL ENGINEER HAS BEEN APPLIED.

 **CES**
Consultant Engineering Services PLLC
Robert Mann PE #096034

PO Box 1125
Troy NY, 12181

PHONE: 518-796-6349
robertmannpe@gmail.com

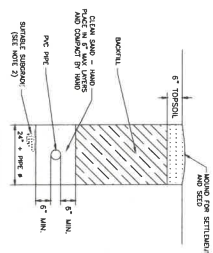
	PAPER SIZE 11 x 17	Anthony Bernard
		2856 NY 30
		ESPERANCE NY, 12066
		PHONE: , RALPHIE115@YAHOO.COM
		DRAWN BY: RVM
	SCALE: As Noted	
	DATE: 4/30/2025	

	PAGE:
	1/1
	CHANGES TO DK DESIGN PLANS GP3D

ABSORPTION FIELD DESIGN	
COMPONENT	PROPOSED
# BODROOMS	2
DESIGN FLOW	110 GPD PER BEDROOM
DESIGN FLOW	220 GPD
DESIGN PRECIPITATION RATE RANGE	11 - 15 in
APPLICATION RATE	0.4 GPD/1"²
TRENCH LENGTH REQUIRED	154'-0"
TRENCH LENGTH PROPOSED	160'-0"

RAW SEWAGE GRANTS FLOW TO COMBINATION CONCRETE SEPTIC TANK & PUMP BASIN. PUMPED EFFLUENT TO DISTRIBUTION BOX; GRANTS EFFLUENT TO STONE & PIPE TRENCHES WITHIN A SHALLOW ABSORPTION TRENCH SYSTEM.

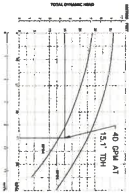
TAXI 2011 (2011-2012)		TAXI 2012 (2012-2013)	
0-1000	0-1000	0-1000	0-1000
1000-2000	1000-2000	1000-2000	1000-2000
2000-3000	2000-3000	2000-3000	2000-3000
3000-4000	3000-4000	3000-4000	3000-4000
4000-5000	4000-5000	4000-5000	4000-5000
5000-6000	5000-6000	5000-6000	5000-6000
6000-7000	6000-7000	6000-7000	6000-7000
7000-8000	7000-8000	7000-8000	7000-8000
8000-9000	8000-9000	8000-9000	8000-9000
9000-10000	9000-10000	9000-10000	9000-10000
10000-11000	10000-11000	10000-11000	10000-11000
11000-12000	11000-12000	11000-12000	11000-12000
12000-13000	12000-13000	12000-13000	12000-13000
13000-14000	13000-14000	13000-14000	13000-14000
14000-15000	14000-15000	14000-15000	14000-15000
15000-16000	15000-16000	15000-16000	15000-16000
16000-17000	16000-17000	16000-17000	16000-17000
17000-18000	17000-18000	17000-18000	17000-18000
18000-19000	18000-19000	18000-19000	18000-19000
19000-20000	19000-20000	19000-20000	19000-20000
20000-21000	20000-21000	20000-21000	20000-21000
21000-22000	21000-22000	21000-22000	21000-22000
22000-23000	22000-23000	22000-23000	22000-23000
23000-24000	23000-24000	23000-24000	23000-24000
24000-25000	24000-25000	24000-25000	24000-25000
25000-26000	25000-26000	25000-26000	25000-26000
26000-27000	26000-27000	26000-27000	26000-27000
27000-28000	27000-28000	27000-28000	27000-28000
28000-29000	28000-29000	28000-29000	28000-29000
29000-30000	29000-30000	29000-30000	29000-30000
30000-31000	30000-31000	30000-31000	30000-31000
31000-32000	31000-32000	31000-32000	31000-32000
32000-33000	32000-33000	32000-33000	32000-33000
33000-34000	33000-34000	33000-34000	33000-34000
34000-35000	34000-35000	34000-35000	34000-35000
35000-36000	35000-36000	35000-36000	35000-36000
36000-37000	36000-37000	36000-37000	36000-37000
37000-38000	37000-38000	37000-38000	37000-38000
38000-39000	38000-39000	38000-39000	38000-39000
39000-40000	39000-40000	39000-40000	39000-40000
40000-41000	40000-41000	40000-41000	40000-41000
41000-42000	41000-42000	41000-42000	41000-42000
42000-43000	42000-43000	42000-43000	42000-43000
43000-44000	43000-44000	43000-44000	43000-44000
44000-45000	44000-45000	44000-45000	44000-45000
45000-46000	45000-46000	45000-46000	45000-46000
46000-47000	46000-47000	46000-47000	46000-47000
47000-48000	47000-48000	47000-48000	47000-48000
48000-49000	48000-49000	48000-49000	48000-49000
49000-50000	49000-50000	49000-50000	49000-50000
50000-51000	50000-51000	50000-51000	50000-51000
51000-52000	51000-52000	51000-52000	51000-52000
52000-53000	52000-53000	52000-53000	52000-53000
53000-54000	53000-54000	53000-54000	53000-54000
54000-55000	54000-55000	54000-55000	5



1 PIPE TRENCH AND BEDDING - TYPICAL

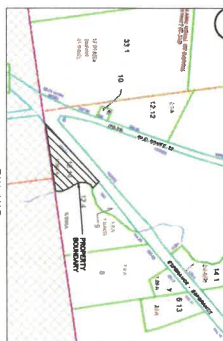
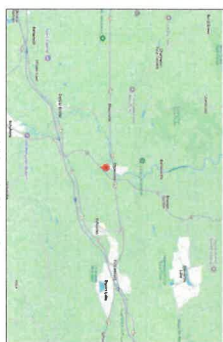
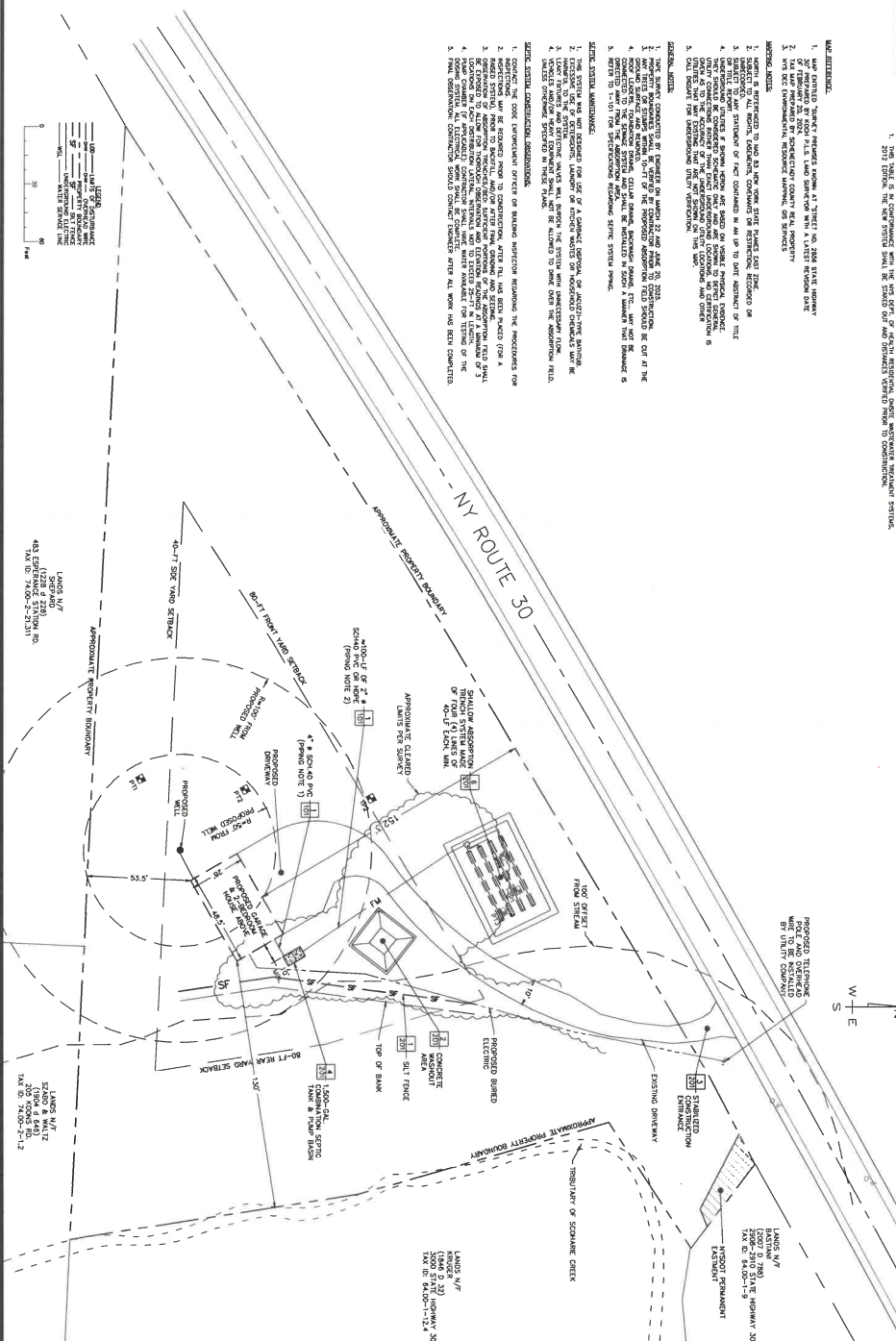
- [illegible]

PUMP SELECTION



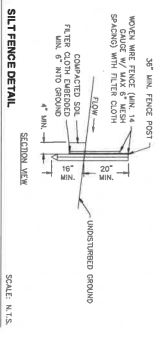
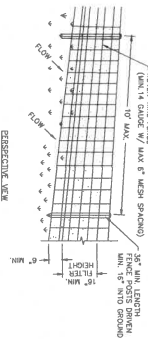
1. PROVIDE ONE GOULDS MODEL 3671 EPDS SUBMERSIBLE EFFLUENT PUMP TO PRODUCE 40-GPM AT 15.1' TDH.
2. PUMP SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
3. EQUIPMENT PUMPS WILL BE ACCEPTED, BUT MUST BE APPROVED BY ENGINEER.
4. PUMP VOLUME PER DOSE SHALL NOT EXCEED 75% OF THE LATERAL VOLUME PLUS THE FORCE MAIN DRAIN BACK VOLUME.

PUMP CALCS	
TOTAL HEAD	15.1 FT
TOTAL DOSE	83 GAL.
DOSE TIME	2:11

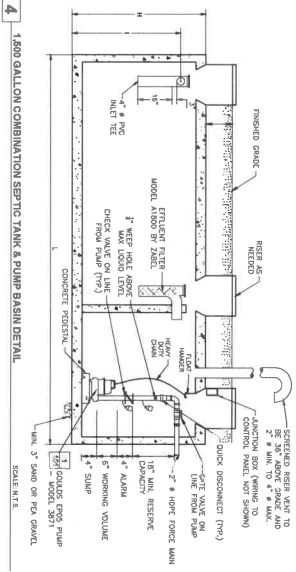


SHEET INDEX		
SHEET NO.	DESCRIPTION	SHEET ID.
1	SITE PLAN	C101
2	SITE DETAILS	C201

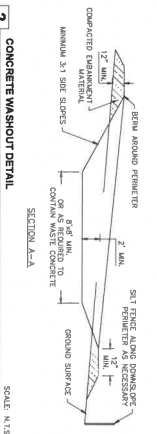
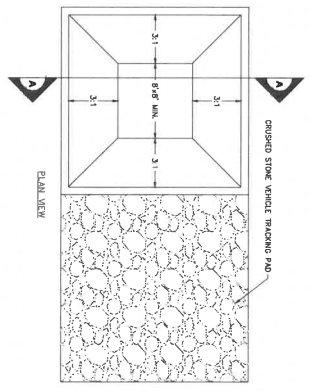
[illegible]



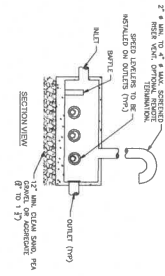
- 1. SALT FENCE DETAIL**
1. WOMEN WIRE FENCE 1/4\"/>



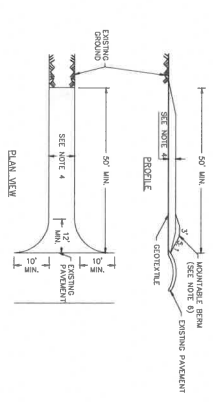
- 1. 1600 GALLON COMBINATION SEPTIC TANK & PUMP BASIN DETAIL**
1. FINISHED GRADE
 2. MODEL 3071
 3. INLET TEE
 4. CHECK VALVE ON LINE FROM PUMP (TV)
 5. 4\"/>



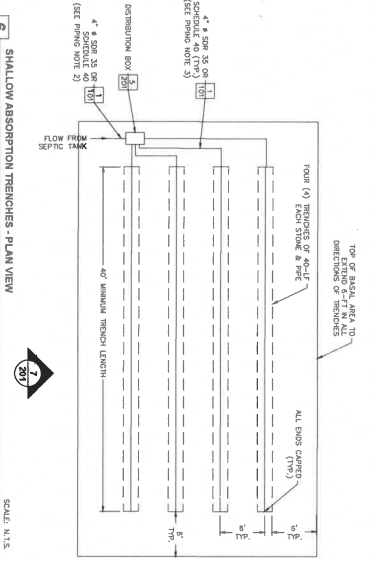
- 2. CONCRETE WASHOUT DETAIL**
1. 12\"/>



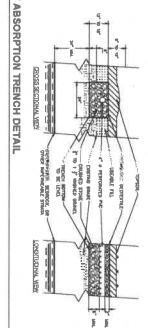
- 5. DISTRIBUTION BOX**
1. 4\"/>



- 3. STABILIZED CONSTRUCTION ENTRANCE DETAIL**
1. 50\"/>



- 6. SHALLOW ABSORPTION TRENCHES - PLAN VIEW**
1. 46\"/>



- 7. SHALLOW ABSORPTION TRENCH DETAIL**
1. 4\"/>

DETAILS

DATE: 06-23-2023

AS SHOWN

C201

REVISION

No.	Revision Description	Date

PROJECT

STONEY LANE RESIDENCE

STONEY LANE

AMSTERDAM, NY 12010

AMSTERDAM TOWN OF

DESIGNED BY

DANIEL M. GILDI, P.E.

09883

REGISTERED PROFESSIONAL ENGINEER

STATE OF NEW YORK

GENERAL INFORMATION	
PROJECT NO.	04-13-2004
DATE	04-13-2004
BY	04-13-2004
FOR	04-13-2004
PROJECT NAME	04-13-2004
PROJECT LOCATION	04-13-2004
PROJECT OWNER	04-13-2004
PROJECT ENGINEER	04-13-2004
PROJECT SURVEYOR	04-13-2004

PROJECT INFORMATION	
PROJECT NO.	04-13-2004
DATE	04-13-2004
BY	04-13-2004
FOR	04-13-2004
PROJECT NAME	04-13-2004
PROJECT LOCATION	04-13-2004
PROJECT OWNER	04-13-2004
PROJECT ENGINEER	04-13-2004
PROJECT SURVEYOR	04-13-2004

PROJECT INFORMATION	
PROJECT NO.	04-13-2004
DATE	04-13-2004
BY	04-13-2004
FOR	04-13-2004
PROJECT NAME	04-13-2004
PROJECT LOCATION	04-13-2004
PROJECT OWNER	04-13-2004
PROJECT ENGINEER	04-13-2004
PROJECT SURVEYOR	04-13-2004

1. THE TRENCH AND BACKFILL SHALL BE CONSTRUCTED TO THE FOLLOWING SPECIFICATIONS:

1.1. THE TRENCH SHALL BE 48" DEEP AND 36" WIDE AT THE BOTTOM.

1.2. THE TRENCH SHALL BE 48" DEEP AND 36" WIDE AT THE TOP.

1.3. THE TRENCH SHALL BE 48" DEEP AND 36" WIDE AT THE BOTTOM.

1.4. THE TRENCH SHALL BE 48" DEEP AND 36" WIDE AT THE TOP.

1.5. THE TRENCH SHALL BE 48" DEEP AND 36" WIDE AT THE BOTTOM.

1.6. THE TRENCH SHALL BE 48" DEEP AND 36" WIDE AT THE TOP.

1.7. THE TRENCH SHALL BE 48" DEEP AND 36" WIDE AT THE BOTTOM.

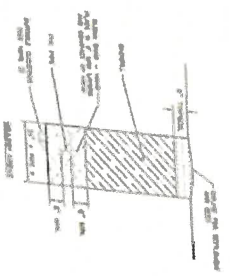
1.8. THE TRENCH SHALL BE 48" DEEP AND 36" WIDE AT THE TOP.

1.9. THE TRENCH SHALL BE 48" DEEP AND 36" WIDE AT THE BOTTOM.

1.10. THE TRENCH SHALL BE 48" DEEP AND 36" WIDE AT THE TOP.

PROJECT INFORMATION	
PROJECT NO.	04-13-2004
DATE	04-13-2004
BY	04-13-2004
FOR	04-13-2004
PROJECT NAME	04-13-2004
PROJECT LOCATION	04-13-2004
PROJECT OWNER	04-13-2004
PROJECT ENGINEER	04-13-2004
PROJECT SURVEYOR	04-13-2004

1. TRENCH AND BACKFILL TYPICAL



1. THE TRENCH AND BACKFILL SHALL BE CONSTRUCTED TO THE FOLLOWING SPECIFICATIONS:

1.1. THE TRENCH SHALL BE 48" DEEP AND 36" WIDE AT THE BOTTOM.

1.2. THE TRENCH SHALL BE 48" DEEP AND 36" WIDE AT THE TOP.

1.3. THE TRENCH SHALL BE 48" DEEP AND 36" WIDE AT THE BOTTOM.

1.4. THE TRENCH SHALL BE 48" DEEP AND 36" WIDE AT THE TOP.

1.5. THE TRENCH SHALL BE 48" DEEP AND 36" WIDE AT THE BOTTOM.

1.6. THE TRENCH SHALL BE 48" DEEP AND 36" WIDE AT THE TOP.

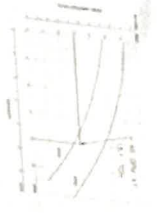
1.7. THE TRENCH SHALL BE 48" DEEP AND 36" WIDE AT THE BOTTOM.

1.8. THE TRENCH SHALL BE 48" DEEP AND 36" WIDE AT THE TOP.

1.9. THE TRENCH SHALL BE 48" DEEP AND 36" WIDE AT THE BOTTOM.

1.10. THE TRENCH SHALL BE 48" DEEP AND 36" WIDE AT THE TOP.

2. PUMP SECTION



2. THE PUMP SECTION SHALL BE CONSTRUCTED TO THE FOLLOWING SPECIFICATIONS:

2.1. THE PUMP SHALL BE 48" HIGH AND 36" WIDE.

2.2. THE PUMP SHALL BE 48" HIGH AND 36" WIDE.

2.3. THE PUMP SHALL BE 48" HIGH AND 36" WIDE.

2.4. THE PUMP SHALL BE 48" HIGH AND 36" WIDE.

2.5. THE PUMP SHALL BE 48" HIGH AND 36" WIDE.

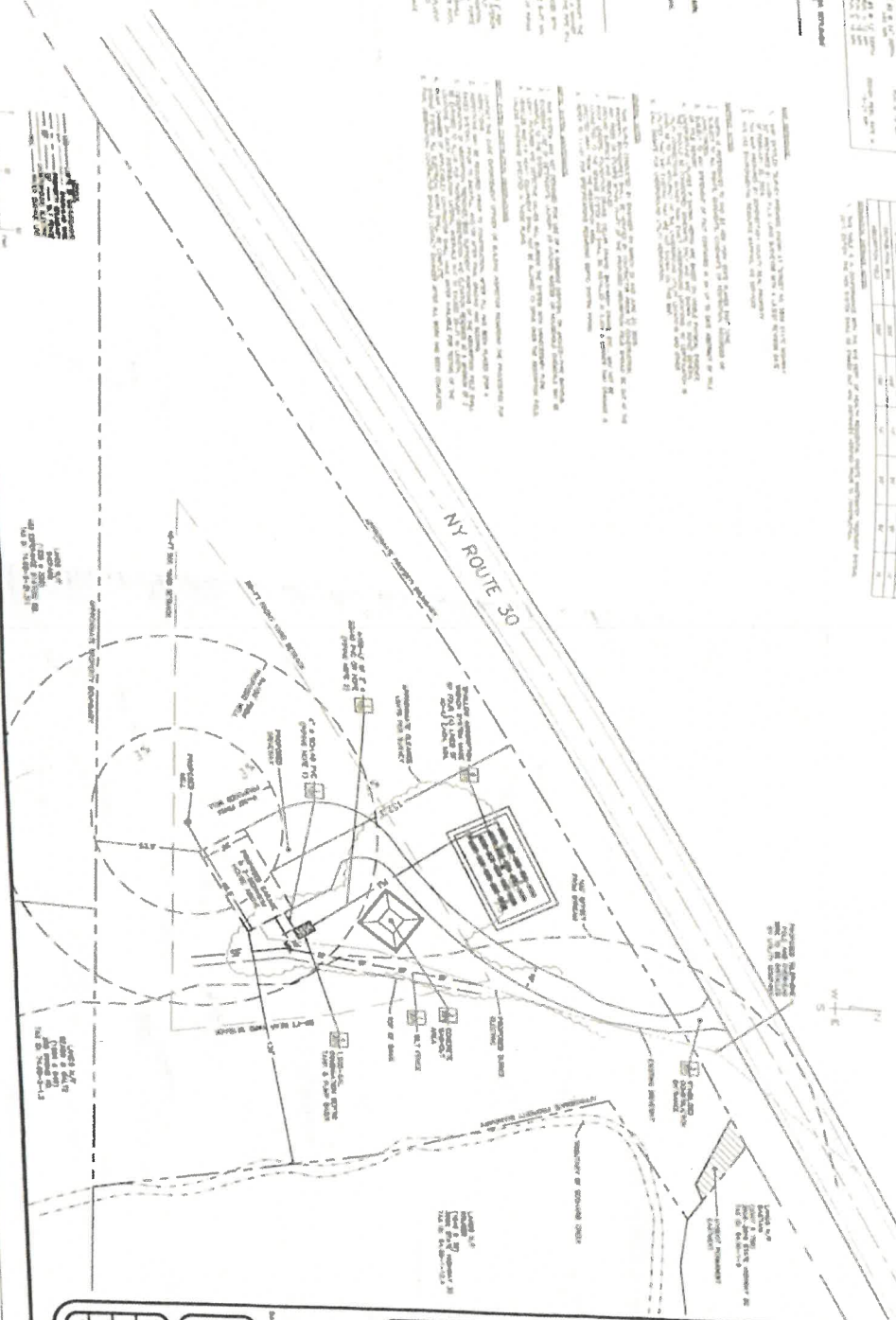
2.6. THE PUMP SHALL BE 48" HIGH AND 36" WIDE.

2.7. THE PUMP SHALL BE 48" HIGH AND 36" WIDE.

2.8. THE PUMP SHALL BE 48" HIGH AND 36" WIDE.

2.9. THE PUMP SHALL BE 48" HIGH AND 36" WIDE.

2.10. THE PUMP SHALL BE 48" HIGH AND 36" WIDE.



SITE PLAN

04-13-2004

C101

SEAL

04-13-2004

C101

SEAL

04-13-2004

C101



OFFICE OF THE SCHENECTADY COUNTY CLERK

620 STATE STREET
SCHENECTADY, NY 12305-2114
PHONE (518) 388-4220
FAX (518) 388-4224

Cara M. Ackerley
County Clerk

Instrument Number - 202201640
Recorded On 1/11/2022 At 10:43:13 AM

* Instrument Type - DEED

* Book/Page - DEED/2076/130

* Total Pages - 4

Invoice Number - 1112539 User ID: KAF

* Document Number - 2022-268

* Grantor - DEFORST JONATHAN H

* Grantee - BERNARD ANTHONY R

***RETURN DOCUMENT TO:**

BETHANY SCHUMANN-MCGHEE ESQ
1230 RIVERFRONT CENTER
AMSTERDAM, NY 12010

*** FEES**

NY REALTY TRANSFER TAX	\$100.00
NY LAND SUR	\$4.75
NY E & A FEES	\$241.00
NY LAND COMP SUR	\$14.25
CO GENERAL REVENUE	\$45.00
CO LAND SUR	\$0.25
CO E & A FEES	\$9.00
CO LAND COMP SUR	\$0.75
CONVEYANCE NOTIFICATION	\$10.00
TOTAL PAID	\$425.00

TRANSFER TAX

Real Estate Transfer Tax Num - 2438
Transfer Tax Amount - \$ 100.00

I hereby CONFIRM that this document is
Recorded in the Schenectady County Clerk's Office
in Schenectady, New York

C. Ackerley
Cara M. Ackerley

Schenectady County Clerk

THIS IS AN ENDORSEMENT PAGE

Do Not Detach

THIS PAGE IS NOW PART OF THIS LEGAL DOCUMENT

* - Information denoted by an asterisk may change during the verification process and may not be reflected on this page.

INSTRUMENT NUMBER - 202201640



Record and Return to:

Bethany Schumann-McGhee Esq
1230 Riverfront Center
Amsterdam, Ny 12010

N.Y.S.
TAX
\$

DEED

THIS INDENTURE is made the 15th day of December, 2021, between **JONATHAN H. DEFOREST**, residing at 1236 McGuire School Road, Delanson, NY 12053 (the "Grantor"), and **ANTHONY R. BERNARD**, residing at 4 Kriss Krossing, East Greenbush, New York 12061 (the "Grantee").

WITNESSETH: that the Grantor, in consideration of One Dollar (\$1.00), lawful money of the United States, and other good and valuable consideration, paid by the Grantee, the receipt of which is acknowledged by the Grantor, does hereby grant and release unto the Grantee, her heirs, successors and assigns forever,

ALL THAT CERTAIN LOT, PIECE OR PARCEL OF LAND with the buildings thereon, situate, lying and being in the Town of Duanesburg, County of Schenectady, and State of New York being more particularly set forth on Schedule "A" attached hereto and by this reference made a part hereof (hereinafter called the "Premises").

BEING THE SAME PREMISES as conveyed to the Grantor by deed made by Richard R. Vincent dated April 28, 2004 and recorded on in the Schenectady County Clerk's Office on May 6, 2004 in Book 1677 of Deeds at Page 549.

SUBJECT TO all easements, restrictions, covenants and conditions of record affecting the Premises.

TOGETHER WITH the appurtenances and all the estate and rights of the Grantor in and to the Premises,

TO HAVE AND TO HOLD the Premises unto the Grantee, her heirs, successors and assigns forever.

And the Grantor covenants as follows:

FIRST, that the Grantee shall quietly enjoy the Premises;

SECOND, that the Grantor will forever warrant the title to the Premises; and

① 6400 12.14

8/9/05

SCHEDULE "A"

LEGAL DESCRIPTION

ALL THAT CERTAIN PIECE OR PARCEL OF LAND situate, lying and being on the Southeasterly side of New York State Highway Route #30 in the Town of Duanesburg, County of Schenectady, State of New York, bounded and described as follows:

BEGINNING at a highway monument found set in the ground at the Westerly end of an old stone wall and wire fence on the Southeasterly side of New York State Highway Route #30, said monument being in distance 41 feet perpendicular from the centerline thereof, said found monument being the point of beginning of the lands herein described; thence leaving said monument on the following three (3) bearings and distances along the said highway:

North 57° 12' 45" East 273.03 feet to a point,

North 59° 45' 35" East 307.36 feet to a highway monument found set, and

North 61° 31' 30" East 54.15 feet to an iron pin set in the ground, being a 5/8" x 34" re-rod with yellow cap tagged RDSNYDER, said pin being in distance 38 feet perpendicular from the centerline of the said highway and at the most Northerly corner of the lands herein described and the most Westerly corner of the lands formerly of Detlef and Kay Sarbok (Liber 1066, Page 294); thence leaving said pin South 51° 17' 00" East 55.82 feet along the lands formerly of the said Detlef and Kay Sarbok to a point in the centerline of a small creek; thence leaving said point on the following three (3) bearings and distances along the said centerline running through the lands formerly of James L. Gage (894/112):

South 56° 46' 55" West 78.62 feet to a point,

South 16° 00' 00" East 133.62 feet to a point, and

South 08° 52' 05" East 152.48 feet to a point; thence leaving said point

North 87° 09' 10" West 581.65 feet along the lands now or formerly of James P. and Carol J. Barton (995/407), also the lands now or formerly of Frederick and Norma A. Burkhart (1055/729), being essentially along the centerline of an old stone wall and wire fence line to the point or place of beginning.

Jeffery Schmitt, Planning Board Chair
Michael Harris, Vice Chairman
Chris Parslow, Town Planner
Teresa Bakner, Board Attorney
Lindsay Althiser, Planning Clerk



Elizabeth Novak, Board Member
Joshua Houghton, Board Member
Matthew Hoffman, Board Member
Michael Walpole, Board Member

TOWN OF DUANESBURG
SCHENECTADY COUNTY

Town of Duanesburg
Planning Board Minutes
April 16th, 2026
Draft Copy

MEMBERS' PRESENT:

Chairman Schmitt, Vice Chairman Harris, Board Member Houghton and Board Member Walpole, Board Member Hoffman and Board Member Novak. Also Attending: Town Planner Chris Parslow, Melissa Deffer Town Building, Planning and Zoning Clerk and Town Attorney Teresa Bakner.

INTRODUCTION:

Chairman Schmitt opened the meeting at 7:00pm and welcomed everyone to the Planning Board meeting.

OPEN FORUM:

Chairman Schmitt/ Vice Chairman Harris made a motion to open the open forum. Chairman Schmitt aye, Vice Chairman Harris aye, Board Member Hoffman, Board Member Houghton aye, Board Member Novak aye, Board Member Walpole aye. **Approved.**

Dennis Proper located at 721 Herrick Rd would like to know what the plans are for the old Jamaica Builders Property?

Chairman Schmitt explained that there was an extensive discussion with the owner of that site and the board for several months. And there's a comprehensive sketch of the proposed future development of that site. It was approved as a major 3 lot subdivision, but the major lot is the part of the Jamaica Builders was. And that's still subject to further review, but the subdivision is done. And there's a conceptual drawing of what that site could possibly look like in the future of office buildings and professional buildings, maybe some light retail.

Chairman Schmitt/ Vice Chairman Harris made a motion to close the open forum. Chairman Schmitt aye, Vice Chairman Harris aye, Board Member Hoffman, Board Member Houghton aye, Board Member Novak aye, Board Member Walpole aye. **Approved.**

PUBLIC HEARINGS:

#26-04 Hawes, Karen: SBL#43.00-2-20 located at 1053 Herrick Rd.(R-2) is seeking a major subdivision to turn 1 lot into 3. Under The Town of Duanesburg Subdivision Ordinance section 3.5 “major subdivision approval.”

Emily Jacobson of Empire Engineering, a representative for Mrs. Hawes, took a moment to describe to the board and public that Mrs. Hawes is looking to separate her current property into 3 lots. 2 lots she will keep and 1 lot she intends to sell to her neighbor. The board asked Mrs. Hawes and Ms. Jacobson while the town waits for the County Referral comments to again show on the plat that the lots can be buildable lots and comply with all requirements for the current town code, show the wells, septic's and road frontage on each lot for the next meeting.

Chairman Schmitt/ Vice Chairman Harris made a motion to open the public hearing for the application for **#26-04 Hawes, Karen** application.

Chairman Schmitt aye, Vice Chairman Harris aye, Board Member Hoffman, Board Member Houghton aye, Board Member Novak aye, Board Member Walpole aye. **Approved.**

No Public Comment was made.

Board Member Hoffman/ Board Member Walpole made a motion to close the public hearing for the application for **#26-04 Hawes, Karen** application.

Board Member Hoffman, Board Member Walpole, Board Member Novak aye, Board Member Houghton aye, Chairman Schmitt aye, Vice Chairman Harris aye. **Approved.**

Board Member Novak/Board Member Hoffman made a motion based on the information and conditions, including Part 1 and 2 of the Short Environmental Assessment form, the Town of Duanesburg Planning Board has determined the project will not result in any significant adverse environmental impacts in accordance with Article 8 of the Environmental Conservation Law. Therefore, the Town of Duanesburg Planning Board issues a negative declaration for the major subdivision application **#26-04 Hawes, Karen.**

Board Member Novak aye, Board Member Hoffman aye, Board Member Houghton aye, Board Member Walpole aye, Chairman Schmitt aye, Vice Chairman Harris aye. **Approved.**

Chairman Schmitt/ Vice Chairman Harris made a motion to table the application for **#26-04 Hawes, Karen** until the May 21st, 2026, Planning Board Meeting.

Chairman Schmitt aye, Vice Chairman Harris aye, Board Member Hoffman, Board Member Houghton aye, Board Member Novak aye, Board Member Walpole aye. **Approved.**

OLD BUSINESS: NONE.

SKETCH PLAN REVIEW: NONE

NEW BUISINESS: NONE.

OTHER:

#25-19 We Buy Powersports, LLC: SBL# 67.00-2-6.111 located on State Route 7(C-2) - Septic discussion.

Town Attorney Bakner explained there's no problem, It's simply a timing issue, they did the perk testing this fall for the septic system, determined that they have to have a mound system, which means they have to bring all the dirt on site and let it sit for a year, and then they can complete system next year. There are two options given to the business owner.

Option 1 is he can go ahead, build everything, have a port-o-john on the site, have it serviced regularly, and have a temporary certificate of occupancy until he can get the mound system in.

Option 2, he can put in the septic tank and periodically pump the septic tank.

After the Boards discussion they agreed with option 1 with allowing a port-o-john on site.

MINUTE APPROVAL:

Chairman Schmitt/Board Member Houghton made a motion to approve the March 19th, 2026, meeting minutes.

Chairman Schmitt aye, Board Member Houghton aye, Vice Chairman Harris aye, Board Member Hoffman aye, Board Member Novak aye, Board Member Walpole abstain. **Approved.**

ADJOURNMENT:

Chairman Schmitt / Board Member Walpole made a motion to adjourn the April 16th, 2026, meeting at 7:34pm.

Chairman Schmitt aye, Board Member Walpole aye, Vice Chairman Harris aye, Board Member Hoffman aye, Board Member Novak aye, Board Member Houghton aye. **Approved.**

I, Melissa Deffer, Town Planning and Zoning Clerk of the Town of Duanesburg, hereby certify that this is a true and accurate transcript of the Planning Board Meeting held on Thursday April 16, 2026.