

Jeffery Schmitt, Planning Board Chair
Michael Harris, Vice Chairman
Chris Parslow, Town Planner
Teresa Bakner, Board Attorney
Melissa Deffer, Planning Clerk

Elizabeth Novak, Board Member
Joshua Houghton, Board Member
Matthew Hoffman, Board Member
Michael Walpole, Board Member



TOWN OF DUANESBURG
SCHENECTADY COUNTY

Town of Duanesburg
Planning Board Minutes
May 21st, 2026
Draft Copy

RECEIVED

JUN 08 2026

TOWN OF DUANESBURG
TOWN CLERK

MEMBERS' PRESENT:

Vice Chairman Harris, Board Member Houghton, Board Member Hoffman and Board Member Novak. Also Attending: Town Planner Chris Parslow, Melissa Deffer Town Building, Planning and Zoning Clerk and Town Attorney Teresa Bakner. Absent Members: Chairman Schmitt, Board Member Walpole.

INTRODUCTION:

Vice Chairman Harris opened the meeting at 7:00pm and welcomed everyone to the Planning Board meeting.

OPEN FORUM:

No Public comments.

PUBLIC HEARINGS: NONE.

OLD BUSINESS:

#26-04 Hawes, Karen: SBL#43.00-2-20 located at 1053 Herrick Rd.(R-2) is seeking a major subdivision to turn 1 lot into 3. Under The Town of Duanesburg Subdivision Ordinance section 3.5 "major subdivision approval."

Chris Longo of Empire Engineering, a representative for Mrs. Hawes, took a moment to describe to the board and public that Mrs. Hawes is looking to separate her current property into 3 lots. 2 lots she will keep and 1 lot she may sell to her neighbor. Mr. Longo also showed the Board the plat that the lots do now show buildable lots and that all lots comply with all requirements for the current town code, show the wells, septic's and road frontage on each of the lots. The board reviewed the County Referral comments.

Board Member Novak/Board Member Houghton made a motion that the Preliminary/Final Determination of Significance/Part 3 Short Environmental Assessment Form Karen Hawes Major Subdivision based on the information and conditions, including Part 1 and 2 of the Short Environmental Assessment form, the Town of Duanesburg Planning Board has determined the project will not result in any significant adverse environmental impacts in

accordance with Article 8 of the Environmental Conservation Law. Therefore, the Town of Duanesburg Planning Board issues a negative declaration for the major subdivision application **#26-04 Hawes, Karen. (Please see Attached)**

Board Member Novak aye, Board Member Houghton aye, Vice Chairman Harris aye, Board Member Hoffman. **Approved.**

Vice Chairman Harris/Board Member Hoffman made a motion to approve the application for **#26-04 Hawes, Karen.** Contingent upon getting Town Highway Superintendent approval for site distances for the driveways.

Vice Chairman Harris aye, Board Member Hoffman, Board Member Houghton aye, Board Member Novak aye. **Approved.**

SKETCH PLAN REVIEW:

#26-07 Bernard, Anthony: SBL#64.00-1-12.14 located at 2856 NY 30. (C-1) is seeking a Special Use Permit to build a single-family residence in a commercial zone. Under The Town of Duanesburg Zoning Ordinance section 11.4(10) "Dwelling single family, consisting of a minimum gross floor area of 600ft".

Anthony Bernard represented himself and explained to the Board that he would like to build a 3-car garage with a 2-bedroom apartment on top that he would occupy as his primary residence. Anthony understands that the property is located in a commercial zoning district. For the next meeting the Board would like to see a Site Plan, a copy of the DOT driveway permit and to review the County Referral comments.

Board Member Novak/Board Member Houghton made a motion that the **#26-07 Bernard, Anthony** application is a Type II action and no further SEQRA review is required and to set a public hearing for June 18th, 2026, at 7:00pm.

Board Member Novak aye, Board Member Houghton aye, Vice Chairman Harris aye, Board Member Hoffman. **Approved.**

NEW BUISINESS: NONE.

OTHER: Town Attorney went over the new SEQRA regulations and expressed to the Board that the annual training of 4 hrs. needs to be sent to Jen Howe the Town Clerk.

MINUTE APPROVAL:

Board Member Hoffman/Vice Chairperson Harris made a motion to approve the April 16th, 2026, meeting minutes.

Board Member Hoffman aye, Vice Chairman Harris aye, Board Member Houghton aye, Board Member Novak aye. **Approved.**

ADJOURNMENT:

Vice Chairperson Harris / Board Member Novak made a motion to adjourn the May 21st, 2026, meeting at 7:34pm.

Vice Chairman Harris aye, Board Member Novak aye, Board Member Hoffman, Board Member Houghton aye. **Approved.**

**Preliminary/Final
Determination of Significance/Part 3 Short Environmental Assessment Form
Karen Hawes Major Subdivision
May 21, 2026**

The Town of Duanesburg Planning Board has reviewed the application for the Karen Hawes Major subdivision which will result in three individual parcels. The proposal involves the subdivision of parcel # 43.00-2-20 located on Herrick Road, in the Town of Duanesburg, in the R-2 agricultural and residential zoning district. Parcel 43.00.-2-20 will be subdivided into a 2.38 acre lot with an existing dwelling. A second lot will be created consisting of 25.28 acres on the east side of Herrick Road along with 27.66 acres on the west side of Herrick Road for a total lot of 52.94 acres and a third lot consisting of 27.09 acres.

The proposal has been reviewed and evaluated for environmental impacts in accordance with the State Environmental Quality Review Act, including completion of Part 1, 2 and 3 of the Short Environmental Assessment Form. The Planning Board has declared itself as Lead agency, conducted a coordinated review and determined the Project to be an Unlisted action.

Overall, the project has been found to be consistent with the Town Comprehensive Plan, Zoning Ordinance and Subdivision Ordinance.

A review of the NYS DEC's environmental resource mapper was conducted and identified the project site may contain resources which will require further coordination and consultation, as follows.

First, there is the potential for wetlands and/or other regulated waterbodies to be present on site. Coordination with the US Army Corps of Engineers, and/or, the NYSDEC will be required prior to any work occurring on site. If wetlands and/or other regulated waterbodies are identified, any activities in the regulated area(s) will require approval from the appropriate regulatory agency(ies).

Second, a portion of the project site may also contain, or be substantially contiguous to the Hawes Homestead which is listed on the National Register of Historic Places. Consultation with the NYS Office of Parks, Recreation and Historic Preservation will be required prior to any work occurring on site.

In addition, any potential future activities on site will need to comply with all applicable local, state and federal laws, and regulations. For example, soil disturbance greater than one acre must be in compliance with the NYSDEC's State Pollutant Discharge Elimination System General Permit for Stormwater Discharges associated with Construction Activity.

Based on the information and conditions listed above, including Part 1 and 2 of the Short Environmental Assessment form, the Town of Duanesburg Planning Board has determined the project will not result in any significant adverse environmental impacts in accordance with Article 8 of the Environmental Conservation Law. Therefore, the Town of Duanesburg Planning Board issues a negative declaration for the Hawes Major Subdivision.

Jeffery Schmitt, Planning Board Chair
Michael Harris, Vice Chairperson
Teresa Bakner, Board Attorney
Chris Parslow, Town Planner
Melissa Deffer, Planning Clerk



Elizabeth Novak, Board Member
Joshua Houghton, Board Member
Matthew Hoffman, Board Member
Michael Walpole, Board Member

**Town of Duanesburg
Planning Board Agenda
May 21, 2026**

AGENDA ITEMS MAY BE ADDED, DELETED, OR ORDER CHANGED WITHOUT NOTICE

The Town of Duanesburg offers Planning Board Meetings via Teams if you are unable to attend the meeting in person.

Please be advised this is for viewing purposes only:

**Join Microsoft Teams Meeting
Meeting ID: 210 563 695 322 50
Passcode: y9pC3ho3**

INTRODUCTION BY CHAIRPERSON JEFFERY SCHMITT

OPEN FORUM

PUBLIC HEARINGS: NONE.

OLD BUSINESS:

#26-04 Hawes, Karen: SBL#43.00-2-20 located at 1053 Herrick Rd.(R-2) is seeking a major subdivision to turn 1 lot into 3. Under The Town of Duanesburg Subdivision Ordinance section 3.5 "major subdivision approval."

Comments:

Approved: Yes _____ No _____

SKETCH PLAN REVIEW:

#26-07 Bernard, Anthony: SBL#64.00-1-12.14 located at 2856 NY 30. (C-1) is seeking a Special Use Permit to build a single-family residence in a commercial zone. Under The Town of Duanesburg Zoning Ordinance section 11.4(10) "Dwelling single family, consisting of a minimum gross floor area of 600ft".

Comments:

Jeffery Schmitt, Planning Board Chair
Michael Harris, Vice Chairperson
Teresa Bakner, Board Attorney
Chris Parslow, Town Planner
Melissa Defer, Planning Clerk



Elizabeth Novak, Board Member
Joshua Houghton, Board Member
Matthew Hoffman, Board Member
Michael Walpole, Board Member

NEW BUSINESS: NONE.

OTHER: NONE.

MINUTE APPROVAL:

April 16, 2026, PLANNING BOARD MEETING MINUTES:
Comments:

Approved: Yes _____ No _____

ADJOURNMENT: NEXT MEETING WILL BE HELD APRIL 16, 2026

ZONING COORDINATION REFERRAL

SCHENECTADY COUNTY DEPT. OF ECONOMIC DEVELOPMENT & PLANNING
Recommendations shall be made within 30 days after receipt of a full statement of the proposed action.

For Use By SCDEDP

Received 3-31-26
Case No. D-3-26
Returned 4-7-26

FROM: Legislative Body
 Zoning Board of Appeals
 Planning Board

Municipality:
Town of Duanesburg

TO: Schenectady County Department of Economic Development and Planning
Schaffer Heights, 107 Nott Terrace, Suite 303
Schenectady, NY 12308

(tel.) 386-2225
(fax) 382-5539
Received
Schenectady County

ACTION: Zoning Code/Law Amendment
 Zoning Map Amendment
 Subdivision Review
 Site Plan Review

Special Permit
 Use Variance
 Area Variance
 Other (specify)

MAR 31 2026

Economic Development
and Planning Dept.

PUBLIC HEARING OR MEETING DATE: April 16, 2026

SUBJECT: #26-04 Hawes, Karen: SBL#43.00-2-20 located at 1053 Herrick Rd.(R-2) is seeking a major subdivision to turn 1 lot into 3. Under The Town of Duanesburg Subdivision Ordinance section 3.5 " major subdivision approval."

REQUIRED ENCLOSURES:

1. Public hearing notice & copy of the application.
2. Map of property affected. (Including Tax Map I.D. number if available)
3. Completed environmental assessment form and all other materials required by the referring body in order to make its determination of significance pursuant to the state environmental quality review act.

1. This zoning case is forwarded to your office for review in compliance with Sections 239-l, 239-m and 239-n of Article 12-B of the General Municipal Law, New York State.
2. This material is sent to you for review and recommendation because the property affected by the proposed action is located within 500 feet of the following:
 - the boundary of any city, village or town;
 - the boundary of any existing or proposed County or State park or other recreation area;
 - the right-of-way of any existing or proposed County or State parkway, thruway, expressway, road or highway;
 - the existing or proposed right-of-way of any stream or drainage channel owned by the County or for which the County has established channel lines;
 - the existing or proposed boundary of any County or State-owned land on which a public building or institution is situated;
 - the boundary of a farm operation located in an agricultural district, as defined by Article 25-AA of the agriculture and markets law. The referral requirement of this subparagraph shall not apply to the granting of area variances.

SUBMITTED BY:

Name: Lindsay Althiser Title: Planning/Zoning/Building Clerk
Address: 5853 Western Turnpike Duanesburg, NY 12056
E-mail: LAlthiser@duanesburg.net Phone: (518) 895-2040


Signature

Date: 3/23/2026



PLANNING & ZONING COORDINATION REFERRAL

Case No. D-3-26

Applicant Karen Hawes

Referring Officer Lindsay Alhiser

Municipality Duanesburg

Considerations: Applicant is seeking a major subdivision to turn 1 lot (43.00-2-20) into 3 lots. Under Town of Duanesburg Subdivision Ordinance section 3.5, major subdivision approval.

RECOMMENDATION

Receipt of zoning referral is acknowledged on 3-31-26. Please be advised that the undersigned Commissioner of Economic Development and Planning of the County of Schenectady (having under the Schenectady County Charter the powers and duties of a County Planning Board) has reviewed the proposed action stated on the opposite side of this form and makes the following recommendations:

*Approve of the proposal.

Defer to local consideration (No significant county-wide or inter-community impact)

Modify/Conditionally Approve. Conditions:

Advisory Note:

1. Given the location on the curve of Herrick Rd, site distances for potential driveway's on new lots may be limited, recommend that the Town Highway Supervisor reviews plans to ensure that the road frontage is adequate as proposed.
2. Would consider having the applicant show locations of septic and well on lot 1.

Disapprove. Reason:

*A recommendation of approval should not be interpreted that the County has reviewed all local concerns and/or endorses the project; rather the proposed action has met certain County considerations.

Section 239-m of the general Municipal Law requires that within 30 days after final action, the referring body shall file a report of the final action it has taken with the Schenectady County Department of Economic Development and Planning. A referring body which acts contrary to a recommendation of modification or disapproval of a proposed action shall set forth the reasons for the contrary action in such report.

4-03-2026
Date

Acting Commissioner
Economic Development and Planning

Jeffrey Schmitt, Planning Board Chair
Chris Parslow, Town Planner
Melissa Deffer, Planning & Zoning Clerk
Terresa Bakner, Board Attorney



Michael Harris, Vice Chairperson
Elizabeth Novak, Board Member
Matthew Hoffman, Board Member
Michael Walpole, Board Member
Joshua Houghton, Board Member

**TOWN OF DUANESBURG
SCHENECTADY COUNTY**

NOTICE OF PUBLIC HEARING

**LEGAL NOTICE
NOTICE OF PUBLIC HEARING
PLANNING BOARD
TOWN OF DUANESBURG**

PLEASE TAKE NOTICE, THAT THE PLANNING BOARD OF THE TOWN OF
DUANESBURG, NEW YORK, WILL MEET AT THE TOWN HALL IN THE TOWN
OF DUANESBURG, 5853 WESTERN TURNPIKE, ON **APRIL 16, 2026 AT
7:00 PM** FOR THE PURPOSE OF HEARING ALL PERSONS INTERESTED IN THE
APPLICATION OF:

#26-04 Hawes, Karen: SBL#43.00-2-20 located at 1053 Herrick Rd.(R-2) is seeking
a major subdivision to turn 1 lot into 3. Under The Town of Duanesburg Subdivision
Ordinance section 3.5 "major subdivision approval."

APPLICATION INFORMATION IS AVAILABLE DURING BUSINESS HOURS

BY ORDER OF THE CHAIRPERSON
PLANNING BOARD
TOWN OF DUANESBURG
CHAIRPERSON

Join Teams Meeting (view only)
Meeting ID: 210 563 695 322 50
Passcode: y9pC3ho3

Town Hall • 5853 Western Turnpike • Duanesburg, NY 12056 • (518) 895-8920

**Application for The Planning Board
TOWN OF DUANESBURG**
5853 Western Turnpike, Duanesburg, NY 12056
Building Department 518-895-2040



Date
MM DD YY

Application #

Application Type: Major Subdv. Minor Subdv. Special Use Permit Site/ Sketch Plan Review Lot Line Adjust.

Proposal: 2 Lot Subdivision & Boundary Line Adjustment

Section _____ of the _____ Ordinance.

Owner (AS APPEARS ON DEED): Karen I. Hawes Irrevocable Trust
Address: 1053 Herrick Road, Delanson, NY 12053
Phone: _____
Applicant's Name (if different): _____
Location of Property (if different from owners): _____
Zoning District: R-2
Phone: _____ Tax Map #: 43.-2-20

Signature of Owner(s) if different from Applicant (AS APPEARS ON DEED)
LANDS CONVEYED TO (REQUIRED FOR MERGERS):

Signature of receiving Owner(s) if different from Applicant (AS APPEARS ON DEED)
I CERTIFY THAT THE ABOVE INFORMATION IS TRUE AND CORRECT. The Applicant hereby certifies that he/she is the owner of the above property or has duly authorized, in writing, by the owner of record to make this application. Further, by signing this application, the owner gives permission for a representative(s) of the Town of Duanesburg to walk the property for the purposes of conducting a site review.

Date _____ Date _____
Signature of Owner(s) and/or Applicant

(For Office Use Only)

ALL APPLICATION FEES ARE NON-REFUNDABLE
Application fee paid: \$ 750.00 CC Cash Check # 4950 Date Pd. 3/9/26
Reviewed By: LA _____ Date 3-9 20 26
 Approved Unapproved Refer to Code Enforcement Section _____ of the _____ Ordinance.

Planning Commission Comments _____

Planning Chairperson _____ Date 20 _____ Code Enforcement Officer _____ Date 20

Agriculture Data Statement

TOWN OF DUANESBURG

5853 Western Turnpike, Duaneburg, NY 12056
Building Department 518-895-2040

Application # 26-04

Date
MM DD YY

Applicant

Name: _____
Address: _____

Owner (if different from Applicant):

Name: _____
Address: _____

1. Application Type: Special Use Permit Site Plan Approval Use Variance Area Variance Subdivision Approval
(check all that apply)

2. Description of proposed project: 2 - Lot Minor Subdivision of Parcel 43.-2-20 along with merger of a portion of lands of 43.-2-20 with 43.-2-19.

3. Address of project: 1193 & 1293 Herrick Road

Tax Map #: 43.-2

4. Is this parcel within an Agriculture District? YES NO (Check with your local assessor if you do not know.)

5. If YES, Agriculture District #: _____

6. Is this parcel actively farmed? YES NO

7. List all farm operations within 500ft of your parcel. Attach additional sheet if necessary

Name: Ming Jiao Hsia
Address: 691 Hillman Rd

Is this parcel actively farmed? YES NO

Name: Adam Kerel
Address: 901 Herrick Rd

Is this parcel actively farmed? YES NO

Name: _____
Address: _____

Is this parcel actively farmed? YES NO

Name: _____
Address: _____

Is this parcel actively farmed? YES NO

Signature of Applicant

Signature of Owner (if other than applicant)

Reviewed by: Christopher Parslow Date 20

Revised 1/14/25

FARM NOTE

Prospective residents should be aware that farm operations may generate dust, odor, smoke, noise, vibration and other conditions that may be objectionable to nearby properties. Local governments shall not unreasonably restrict or regulate farm operations within State Certified Agricultural Districts unless it can be shown that the public health or safety is threatened.

NOTE TO REFERRAL AGENCY: County Planning Board review is required. A copy of the Agriculture Data Statement must be submitted along with the referral to the County Planning Department.

NOTICE OF DETERMINATION
of the Town of Duaneburg

Date of Determination 3/6/26

Application of KAREN HAWES under section
3.5 of the (Village of Delanson/ Town of Duaneburg)
Subdivision Ordinance.

Applicant KAREN HAWES
Address 1053 HERRICK RD
DELANSON N.Y. 12053

Phone 518-876-6249 Zoning District R-2 SBL# 43.00-2-20

Description of
Project: TURN 1 LOT INTO 3 LOTS

Determination:
MAJOR SUBDIVISION APPROVAL NEEDED

Reason supporting determination:
TOWN OF DUANEBURG SUBDIVISION ORDINANCE ADOPTED 3/9/98
UNDER SECTION 3.5 MAJOR SUBDIVISION APPROVAL

Action: Refer to Planning BOARD for the purpose of MAJOR SUBDIVISION

Code Enforcement Officer: Christal Baker

ZONING COORDINATION REFERRAL

SCHENECTADY COUNTY DEPT. OF ECONOMIC DEVELOPMENT & PLANNING
Recommendations shall be made within 30 days after receipt of a full statement of the proposed action.

For Use By SCDEDP

Received _____
Case No. _____
Returned _____

FROM: Legislative Body
 Zoning Board of Appeals
 Planning Board

Municipality: _____
Town of Duanesburg

TO: Schenectady County Department of Economic Development and Planning
Schaffer Heights, 107 Nott Terrace, Suite 303
Schenectady, NY 12308

(tel.) 386-2225
(fax) 382-5539

ACTION: Zoning Code/Law Amendment Special Permit
 Zoning Map Amendment Use Variance
 Subdivision Review Area Variance
 Site Plan Review Other (specify) _____

PUBLIC HEARING OR MEETING DATE: April 16, 2026

SUBJECT: #26-04 Hawes, Karen: SBL#43.00-2-20 located at 1053 Herrick Rd.(R-2) is seeking a major subdivision to turn 1 lot into 3. Under The Town of Duanesburg Subdivision Ordinance section 3.5 "major subdivision approval."

REQUIRED ENCLOSURES:

1. Public hearing notice & copy of the application.
2. Map of property affected. (Including Tax Map I.D. number if available)
3. Completed environmental assessment form and all other materials required by the referring body in order to make its determination of significance pursuant to the state environmental quality review act.

1. This zoning case is forwarded to your office for review in compliance with Sections 239-l, 239-m and 239-n of Article 12-B of the General Municipal Law, New York State.
2. This material is sent to you for review and recommendation because the property affected by the proposed action is located within 500 feet of the following:
 - the boundary of any city, village or town;
 - the boundary of any existing or proposed County or State park or other recreation area;
 - the right-of-way of any existing or proposed County or State parkway, thruway, expressway, road or highway;
 - the existing or proposed right-of-way of any stream or drainage channel owned by the County or for which the County has established channel lines;
 - the existing or proposed boundary of any County or State-owned land on which a public building or institution is situated;
 - the boundary of a farm operation located in an agricultural district, as defined by Article 25-AA of the agriculture and markets law. The referral requirement of this subparagraph shall not apply to the granting of area variances.

SUBMITTED BY:

Name: Lindsay Althiser

Title: Planning/Zoning/Building Clerk

Address: 5853 Western Turnpike Duanesburg, NY 12056

E-mail: LAlthiser@duanesburg.net

Phone: (518) 895-2040


Signature

Date: 3/23/2026

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

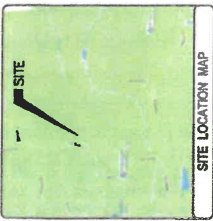
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: 2Lot Subdivision & Boundary Line Adjustment			
Project Location (describe, and attach a location map): 1193 & 1293 Herrick Road Town of Duaneburg. East side of Herrick Road approx. 0.65 miles North from intersection with Skyline Drive.			
Brief Description of Proposed Action: Two Lot Subdivision of parcel 43.-2-20. Lot one parcel will be 2.38 acres with dwelling and Lot two will be 25.28 Acres on the east side of Herrick Road along with 27.66 acres on west side of Herrick Road for a total of 52.94 acres. The remaining lands, 27.09 acres, on east side of Herrick Road are to have a boundary line adjustment with tax parcel 43.-2-19 for a combined total of 33.88 acres.			
Name of Applicant or Sponsor: Karen Hawes		Telephone: E-Mail: k4hlady@aol.com	
Address: 1053 Herrick Road			
City/PO: Delanson		State: NY	Zip Code: 12053
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ 54.75 acres			
b. Total acreage to be physically disturbed? _____ 0 acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 97.12 acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? Hawes Homestead, 09301.000127 Building. national Register # 90NR02627 b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

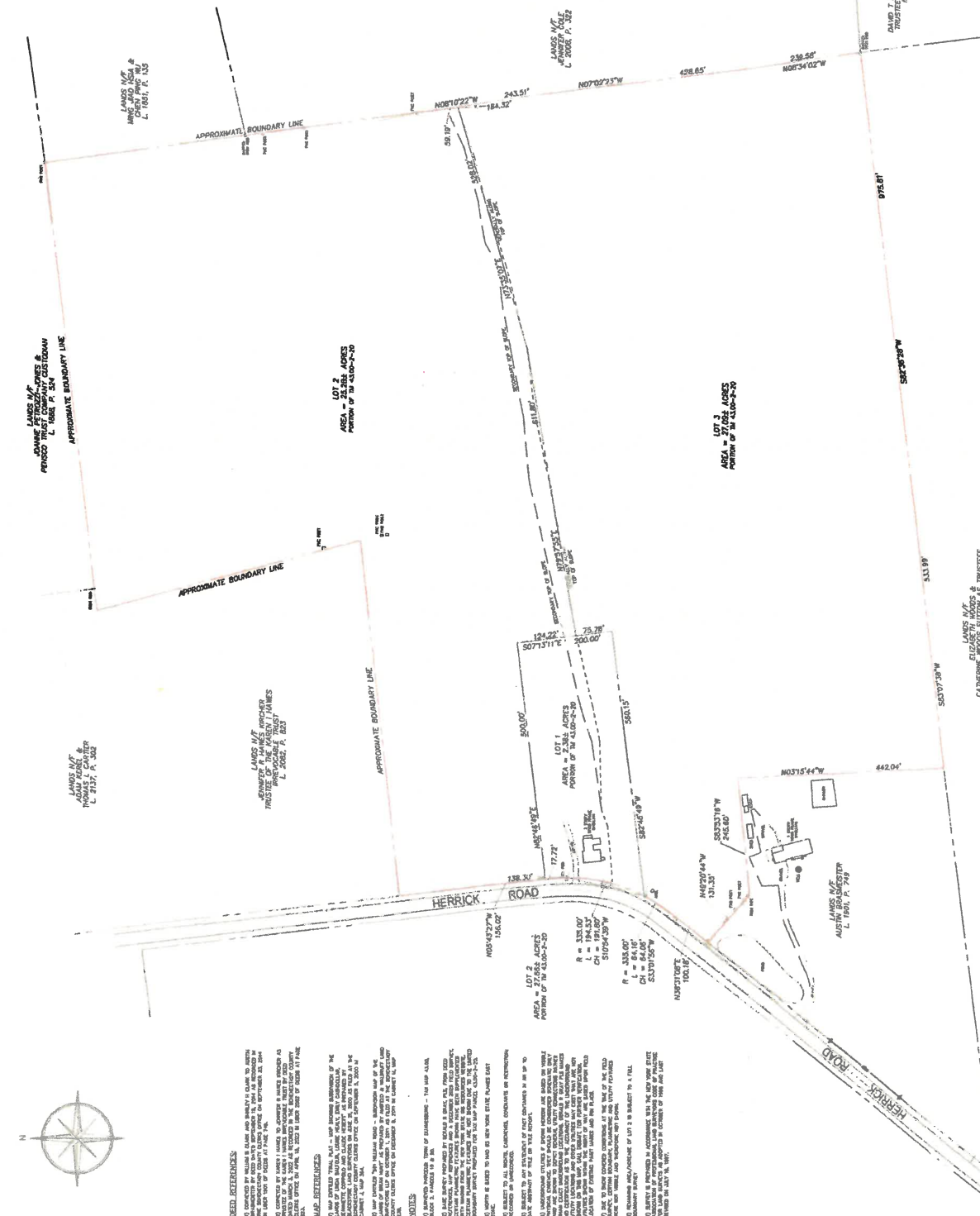
<p>14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:</p> <p><input type="checkbox"/> Shoreline <input checked="" type="checkbox"/> Forest <input checked="" type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional</p> <p><input checked="" type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban</p>		
<p>15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?</p>	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>16. Is the project site located in the 100-year flood plan?</p>	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>17. Will the proposed action create storm water discharge, either from point or non-point sources?</p> <p>If Yes,</p> <p style="padding-left: 40px;">a. Will storm water discharges flow to adjacent properties?</p> <p style="padding-left: 40px;">b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?</p> <p>If Yes, briefly describe:</p> <p>_____</p> <p>_____</p>	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
<p>18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?</p> <p>If Yes, explain the purpose and size of the impoundment:</p> <p>_____</p> <p>_____</p>	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?</p> <p>If Yes, describe: _____</p> <p>_____</p>	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?</p> <p>If Yes, describe: _____</p> <p>_____</p>	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor/name: _____ Date: _____</p> <p>Signature: _____ Title: _____</p>		



BARREL AREAS
 30x142x BARREL LANS-20-28
 ORIGINAL AREA WEST SIDE OF HERRICK RD = 27,684 ACRES
 ORIGINAL AREA EAST SIDE OF HERRICK RD = 84,736 ACRES
 LOT 1 AREA = 2,334 ACRES
 LOT 2 (EAST SIDE) AREA = 25,284 ACRES
 LOT 3 AREA = 27,024 ACRES

CURRENT ZONING

GENERAL NOTES:
 1. THIS MAP IS A PRELIMINARY MAP AND IS NOT TO BE USED FOR CONVEYANCE OF ANY INTEREST IN ANY REAL ESTATE.
 2. THE BOUNDARIES SHOWN ON THIS MAP ARE APPROXIMATE AND ARE NOT TO BE USED FOR CONVEYANCE OF ANY INTEREST IN ANY REAL ESTATE.
 3. THE DIMENSIONS SHOWN ON THIS MAP ARE APPROXIMATE AND ARE NOT TO BE USED FOR CONVEYANCE OF ANY INTEREST IN ANY REAL ESTATE.
 4. THE AREA SHOWN ON THIS MAP IS SUBJECT TO ALL APPLICABLE LAWS, ORDINANCES, AND REGULATIONS.
 5. THE AREA SHOWN ON THIS MAP IS SUBJECT TO ALL APPLICABLE EASEMENTS, RIGHTS, AND INTERESTS.
 6. THE AREA SHOWN ON THIS MAP IS SUBJECT TO ALL APPLICABLE TAXES AND FEES.
 7. THE AREA SHOWN ON THIS MAP IS SUBJECT TO ALL APPLICABLE CONDITIONS AND RESTRICTIONS.



DEED REFERENCES
 1. DEED BY JAMES W. JONES AND JENNIFER R. JONES TO THE EARLY C. WOODS (REVOCABLE TRUST) ON 08/15/2012, REC. 10/15/2012, P. 102.
 2. DEED BY THOMAS L. CARTER AND THOMAS L. CARTER TO THOMAS L. CARTER & THOMAS L. CARTER ON 08/15/2011, REC. 10/15/2011, P. 102.
 3. DEED BY DAVID B. BUDOW AND MARCO J. BULLI TO DAVID B. BUDOW & MARCO J. BULLI (REVOCABLE TRUST) ON 08/15/1997, REC. 10/15/1997, P. 102.
 4. DEED BY AUSTIN BRASHEAR TO AUSTIN BRASHEAR ON 08/15/1991, REC. 10/15/1991, P. 749.
 5. DEED BY CATERINE M. WOODS AND TRUSTEES OF THE EARLY C. WOODS (REVOCABLE TRUST) ON 08/15/2012, REC. 10/15/2012, P. 250.

MAP REFERENCES
 1. MAP OF THE BARREL AREAS, COUNTY OF HERRICK, MISSOURI, SHOWING THE ORIGINAL AREA WEST AND EAST SIDES OF HERRICK ROAD, AS DIVIDED INTO 27,684 ACRES AND 84,736 ACRES, RESPECTIVELY, BY JAMES W. JONES AND JENNIFER R. JONES, DATED 08/15/2012, REC. 10/15/2012, P. 102.
 2. MAP OF THE BARREL AREAS, COUNTY OF HERRICK, MISSOURI, SHOWING THE ORIGINAL AREA WEST AND EAST SIDES OF HERRICK ROAD, AS DIVIDED INTO 2,334 ACRES, 27,684 ACRES, AND 27,024 ACRES, RESPECTIVELY, BY JAMES W. JONES AND JENNIFER R. JONES, DATED 08/15/2012, REC. 10/15/2012, P. 102.
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 5. MAP OF THE BARREL AREAS, COUNTY OF HERRICK, MISSOURI, SHOWING THE ORIGINAL AREA WEST AND EAST SIDES OF HERRICK ROAD, AS DIVIDED INTO 2,334 ACRES, 27,684 ACRES, AND 27,024 ACRES, RESPECTIVELY, BY AUSTIN BRASHEAR, DATED 08/15/1991, REC. 10/15/1991, P. 749.
 6. MAP OF THE BARREL AREAS, COUNTY OF HERRICK, MISSOURI, SHOWING THE ORIGINAL AREA WEST AND EAST SIDES OF HERRICK ROAD, AS DIVIDED INTO 2,334 ACRES, 27,684 ACRES, AND 27,024 ACRES, RESPECTIVELY, BY CATERINE M. WOODS AND TRUSTEES OF THE EARLY C. WOODS (REVOCABLE TRUST), DATED 08/15/2012, REC. 10/15/2012, P. 250.

NOTES
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 7. THE AREA SHOWN ON THIS MAP IS SUBJECT TO ALL APPLICABLE CONDITIONS AND RESTRICTIONS.

AREA CALCULATIONS
 LOT 1 AREA = 2,334 ACRES
 LOT 2 AREA = 27,684 ACRES
 LOT 3 AREA = 27,024 ACRES

BOUNDARY BEARINGS AND DISTANCES
 N03°10'22"W 243.51'
 N07°07'23"W 428.65'
 N06°34'02"W 230.50'
 S82°46'19"W 582.45'
 S83°07'30"W 583.99'
 S82°46'19"W 582.45'
 N03°15'44"W 442.04'
 N03°15'44"W 442.04'
 S82°46'19"W 582.45'
 S83°07'30"W 583.99'

3 Lot Subdivision
 Lands of Hennes
 1183 Herrick Road
 County of HERRICK, MISSOURI
 SCALE: 1" = 60'

GERALD R. GRAY
 LAND SURVEYOR
 MISSOURI
 LICENSE NO. 10000

MISSOURI BOARD OF SURVEYORS
 1100 EAST WASHINGTON ST.
 COLUMBIA, MISSOURI 65201

GERALD R. GRAY
 LAND SURVEYOR
 MISSOURI
 LICENSE NO. 10000

MISSOURI BOARD OF SURVEYORS
 1100 EAST WASHINGTON ST.
 COLUMBIA, MISSOURI 65201

Application for The Planning Board

TOWN OF DUANESBURG

5853 Western Turnpike, Duaneburg, NY 12056
Building Department 518-895-2040



Date
MM DD YY

Application #

Application Type: Major Subdv. Minor Subdv. Special Use Permit Site/ Sketch Plan Review Lot Line Adjust.

Proposal: 3 car garage with 2 bedroom
Primary living space above.
Section _____ of the _____ Ordinance.

Owner (AS APPEARS ON DEED): Anthony Bernard
Address: 2856 NY-30 Esperance NY 12066
Phone: 518-312-9181

Applicant's Name (if different): _____
Location of Property (if different from owners): _____

Zoning District: _____
Phone: _____ Tax Map #: 64.00-1-12.14

Signature of Owner(s) if different from Applicant (AS APPEARS ON DEED)

LANDS CONVEYED TO (REQUIRED FOR MERGERS): _____

Signature of receiving Owner(s) if different from Applicant (AS APPEARS ON DEED)

I CERTIFY THAT THE ABOVE INFORMATION IS TRUE AND CORRECT. The Applicant hereby certifies that he/she is the owner of the above property or has duly authorized, in writing, by the owner of record to make this application. Further, by signing this application, the owner gives permission for a representative(s) of the Town of Duaneburg to walk the property for the purposes of conducting a site review.

Anthony Bernard Date 04/14/26 Date _____
Signature of Owner(s) and/or Applicant

(For Office Use Only)

ALL APPLICATION FEES ARE NON-REFUNDABLE

Application fee paid: \$ _____ CC Cash Check # _____ Date Pd. _____

Reviewed By: _____ Date _____ 20 _____

Approved Unapproved Refer to Code Enforcement Section _____ of the _____ Ordinance.

Planning Commission Comments _____

Planning Chairperson

Date 20 _____

Code Enforcement Officer

Date 20 _____



TOWN OF DUANESBURG
SCHENECTADY COUNTY

INSTRUCTIONS FOR APPLICATIONS TO THE PLANNING BOARD

- The Planning Board meets the **Third Thursday** of each month at **7:00PM** on the basement floor in the boardroom.
- Each application shall consist of **Two (2) copies** of the requested information including the maps and the application with Environmental Assessment Form. Please make sure all sides of the copies are made as well as all maps.
- **A PDF copy of all maps is required to be e-mailed to the Planning Board Clerk, Lindsay Althiser at LAlthiser@Duaneburg.gov**
- All applications shall be accompanied with the required fee (fees are non-refundable). Without the appropriate fee the application **WILL NOT** be reviewed by the Planning and Zoning Department.
- **COMPLETE** applications must be reviewed and submitted **TEN (10) DAYS** prior to the next meeting in the Planning and Zoning Office (the applications must be submitted no later than 3PM). **Note:** To be placed on the agenda, the Planning and Zoning Department must have reviewed all materials and agreed the application is ready to be heard, if for any reason the agenda is full for that month, the Board reserved the right to postpone your application until the following month.
- The Applicant must appear in person or by a duly designated representative at the hearing or the matter will not be considered. If for any reason you or your representative cannot attend the meeting scheduled, please contact the Planning and Zoning Office prior to the meeting.

Failure to submit required information may result in the delay of your application being considered.

Lindsay Althiser
Planning and Zoning Clerk
Town of Duaneburg
5853 Western Turnpike
Duaneburg NY 12053
518-895-2040

CHECK LIST OF REQUIRED INFORMATION:

- | | |
|---|--|
| <input type="checkbox"/> Title of drawing | <input type="checkbox"/> Sewer system: Which district? |
| <input type="checkbox"/> Tax Map ID# | <input type="checkbox"/> Basic SWPPP (1≥) |
| <input type="checkbox"/> Zoning District | <input type="checkbox"/> full Storm Water Control Plan (more than an acre) |
| <input type="checkbox"/> Current Original Deed | <input type="checkbox"/> Storm Water Control Plan |
| <input type="checkbox"/> NYS Survey (L.S. & P.E.) | <input type="checkbox"/> Other (Building Set Backs) |
| <input type="checkbox"/> North Arrow scale (1"=100') | <input type="checkbox"/> Short or Long EAF - https://gisservices.dec.ny.gov/cafmapper/ |
| <input type="checkbox"/> Boundaries of the property plotted and labeled to scale. | <input type="checkbox"/> Street pattern: Traffic study needed? |
| <input type="checkbox"/> School District/ Fire District | <input type="checkbox"/> All property Mergers REQUIRE both owner's signatures on the application |
| <input type="checkbox"/> Green area/ landscaping | <input type="checkbox"/> EMAIL PDF COPIES OF ALL MAPS TO PLANNING & ZONING CLERK |
| <input type="checkbox"/> Existing watercourses, wetlands, etc/ | <u>Additional Requirements for Special Use Application:</u> |
| <input type="checkbox"/> Contour lines (increments of 10ft.) | <input type="checkbox"/> New or existing building |
| <input type="checkbox"/> Easements & Right of ways | <input type="checkbox"/> Business plan, hours of operation & number of employees, floor plan, uses, lighting plan, landscaping & signage |
| <input type="checkbox"/> Abutting properties wells/sewer systems within 100ft. | |
| <input type="checkbox"/> Well/Water System | |
| <input type="checkbox"/> Septic system: Soil investigation completed? | |

Agriculture Data Statement

TOWN OF DUANESBURG
5853 Western Turnpike, Duaneburg, NY 12056
Building Department 518-895-2040

Application #

Date

MM

DD

YY

Applicant

Name: Anthony Bernard
Address: 4 Kriss Crossing
East Greenbush NY 12061

Owner (if different from Applicant):

Name: _____
Address: _____

1. Application Type: Special Use Permit Site Plan Approval Use Variance Area Variance Subdivision Approval
(check all that apply)

2. Description of proposed project: 3 car garage with 2 bedroom
Primary living space above.

3. Address of project: 2856 NY-30 Esperance, NY 12066
Tax Map #: 64.00-1-12.14

4. Is this parcel within an Agriculture District? YES NO (Check with your local assessor if you do not know.)

5. If YES, Agriculture District #: _____

6. Is this parcel actively farmed? YES NO

7. List all farm operations within 500ft of your parcel. Attach additional sheet if necessary

Name: _____
Address: _____

Is this parcel actively farmed? YES NO

Name: _____
Address: _____

Is this parcel actively farmed? YES NO

Name: _____
Address: _____

Is this parcel actively farmed? YES NO

Name: _____
Address: _____

Is this parcel actively farmed? YES NO

Anthony Bernard
Signature of Applicant

Signature of Owner (if other than applicant)

Reviewed by: Christopher Parslow Date 20

Revised 1/14/25

FARM NOTE

Prospective residents should be aware that farm operations may generate dust, odor, smoke, noise, vibration and other conditions that may be objectionable to nearby properties. Local governments shall not unreasonably restrict or regulate farm operations within State Certified Agricultural Districts unless it can be shown that the public health or safety is threatened.

NOTE TO REFERRAL AGENCY: County Planning Board review is required. A copy of the Agricultural Data Statement must be submitted along with the referral to the County Planning Department.

NOTICE OF DETERMINATION
of the Town of Duanesburg

Date of Determination 4/29/26

Application of ANTHONY BERNARD under section
11.4 (10) of the (Village of Delanson/Town of Duanesburg)
ZONING Ordinance.

Applicant ANTHONY BERNARD
Address 2856 NY 30
ESPERANCE NY 12066

Phone 518-312-9181 Zoning District C-1 SBL# 64.00-1-12.14

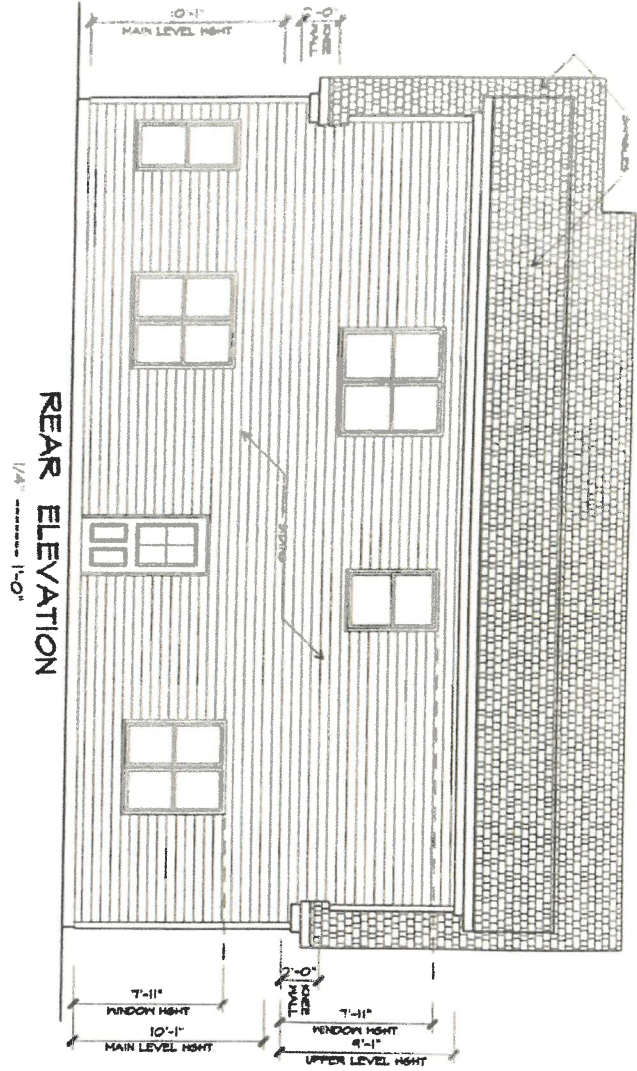
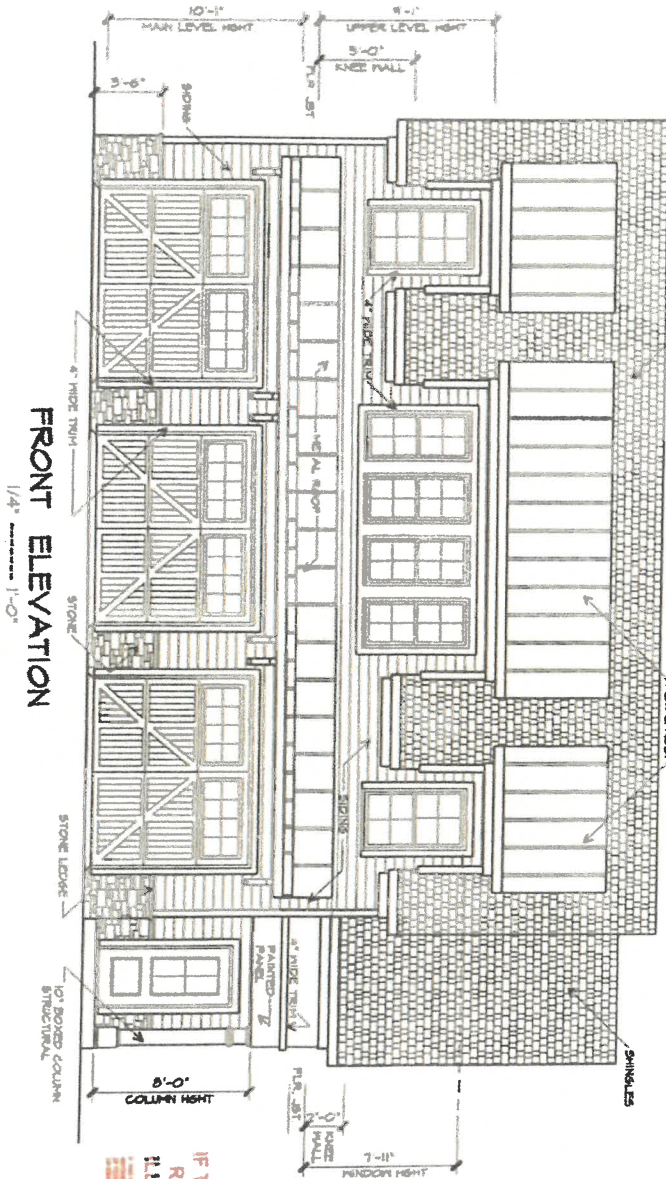
Description of
Project: SINGLE FAMILY RESIDENCE IN A COMMERCIAL ZONE

Determination:
SPECIAL USE PERMIT NEEDED

Reason supporting determination:
TOWN OF DUANESBURG ZONING ORDINANCE ADOPTED 6/11/15
UNDER SECTION 11.4 (10) "DWELLING SINGLE FAMILY,
CONSISTING OF A MINIMUM GROSS FLOOR AREA OF 600 FT.

Action: Refer to PLANNING BOARD for the purpose of SPECIAL USE PERMIT

Code Enforcement Officer: Chithala Rala



IF THIS STAMP IS NOT IN
RED THEN THIS IS AN
ILLEGAL SET OF PLANS

THIS IS A ONE TIME BUILD CONSTRUCTION LICENSE ISSUED 1-4-2022
THE CONSTRUCTION LICENSE TO BUILD THIS PLAN WAS ISSUED TO:

ANTHONY BERNARD
4 KRUSO CROSSING
EAST GREENBUSH, NY 12061

NO ONE ELSE IS ALLOWED TO BUILD FROM THIS PLAN.
A SIGNED CONSTRUCTION LICENSE WAS ISSUED WITH THIS
PLAN FOR PROOF OF AUTHENTICITY. ALL BUILDING DEPARTMENTS
MUST ASK FOR THE CONSTRUCTION LICENSE BEFORE ISSUING A
A BUILDING PERMIT FOR CONSTRUCTION TO BE PROTECTED AGAINST
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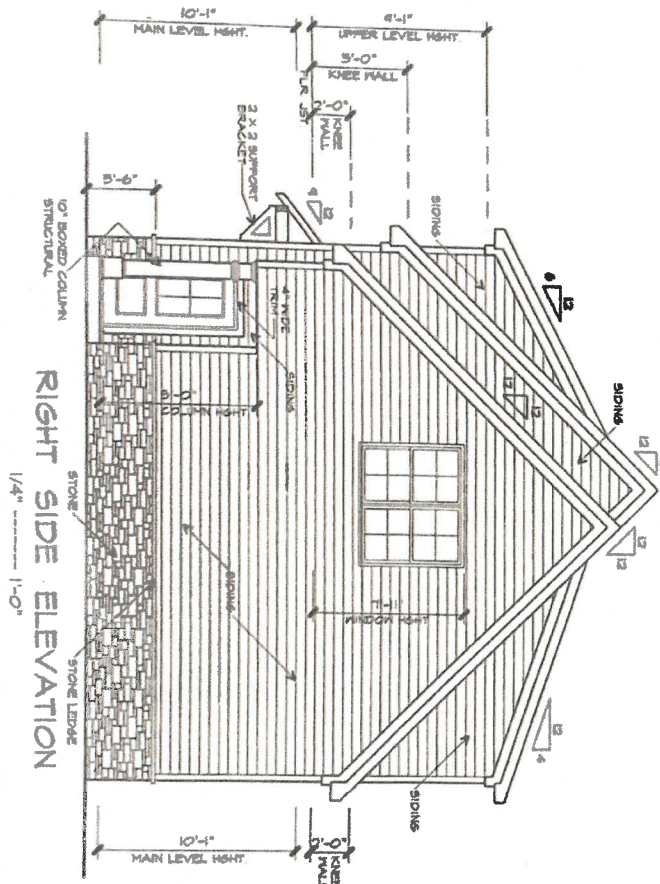
SHEET
OF

REVISION

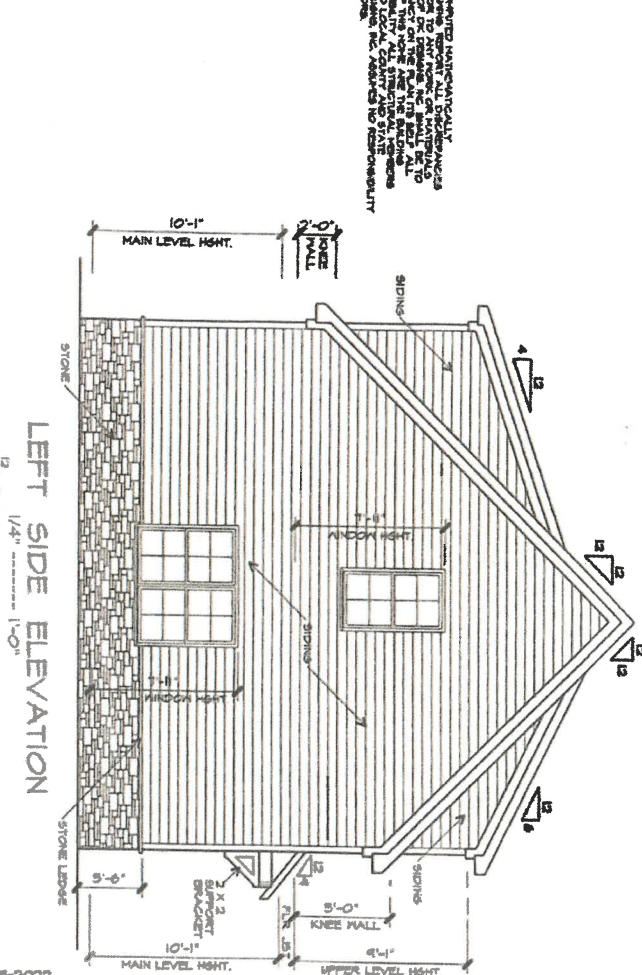
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RIGHT SIDE ELEVATION
1/4" = 1'-0"



LEFT SIDE ELEVATION
1/4" = 1'-0"

IF THIS STAMP IS NOT IN RED THEN THIS IS AN ILLEGAL SET OF PLANS

THIS IS A ONE TIME BUILD CONSTRUCTION LICENSE ISSUED 1-4-2022 THE CONSTRUCTION LICENSE TO BUILD THIS PLAN WAS ISSUED TO:

ANTHONY BERNARD
4 KRUSK CROSSING
EAST GREENBUSH, NY 12061

NO ONE ELSE IS ALLOWED TO BUILD FROM THIS PLAN. A SIGNED CONSTRUCTION LICENSE WAS ISSUED WITH THIS PLAN FOR PROOF OF AUTHENTICITY. ALL BUILDING DEPARTMENTS MUST ASK FOR THE CONSTRUCTION LICENSE BEFORE ISSUING A BUILDING PERMIT FOR CONSTRUCTION TO BE PROTECTED AGAINST ANY COPYRIGHT VIOLATION

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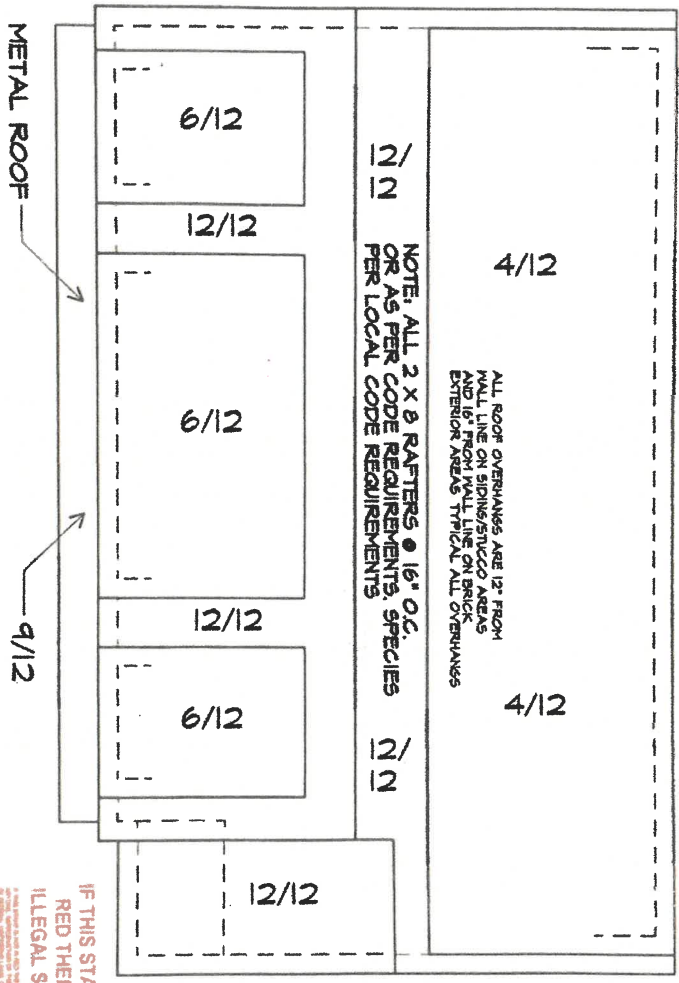
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OF

NUMBER

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ALL DIMENSIONS ARE SHOWN UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.



ROOF PLAN
1/4" = 1'-0"

NOTE: ALL 2 X 8 RAFTERS @ 16" O.C.
OR AS PER CODE REQUIREMENTS, SPECIES / N N
PER LOCAL CODE REQUIREMENTS

ALL ROOF OVERHANGS ARE 12" FROM
WALL LINE ON SIDING/STUCCO AREAS
AND 18" FROM WALL LINE ON BRICK
EXTENSION AREAS TYPICAL ALL OVERHANGS

IF THIS STAMP IS NOT IN
RED THEN THIS IS AN
ILLEGAL SET OF PLANS

THIS IS A ONE TIME BUILD CONSTRUCTION LICENSE ISSUED 1-4-2022
THE CONSTRUCTION LICENSE TO BUILD THIS PLAN WAS ISSUED TO:
ANNEX BRYAN
419155 (K0206NS)
EAST GREENBUSH, NY 12061
NO ONE ELSE IS ALLOWED TO BUILD FROM THIS PLAN.
A SHARED CONSTRUCTION LICENSE WAS ISSUED WITH THIS
PLAN FOR PROOF OF AUTHENTICITY. ALL BUILDING DEPARTMENTS
MUST ASK FOR THE CONSTRUCTION LICENSE BEFORE ISSUING A
BUILDING PERMIT FOR CONSTRUCTION TO BE PROTECTED AGAINST
ANY COPYRIGHT VIOLATION

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DATE
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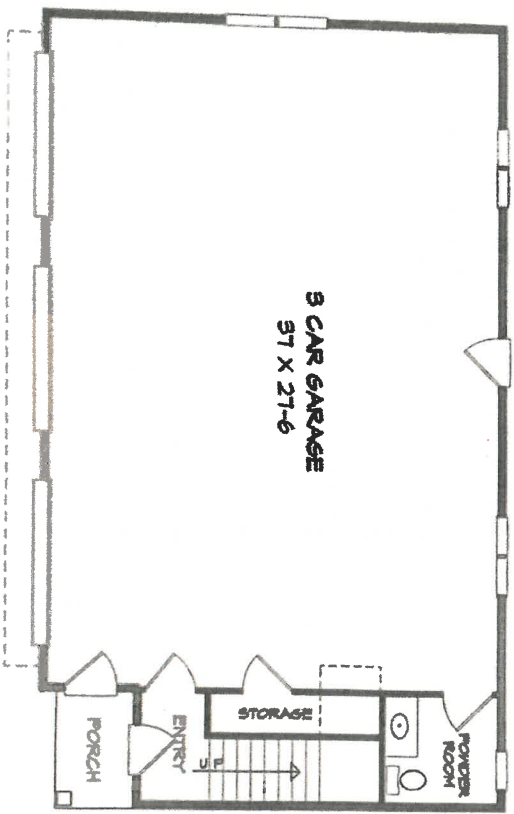
REVISION

DK DESIGNS, INC.

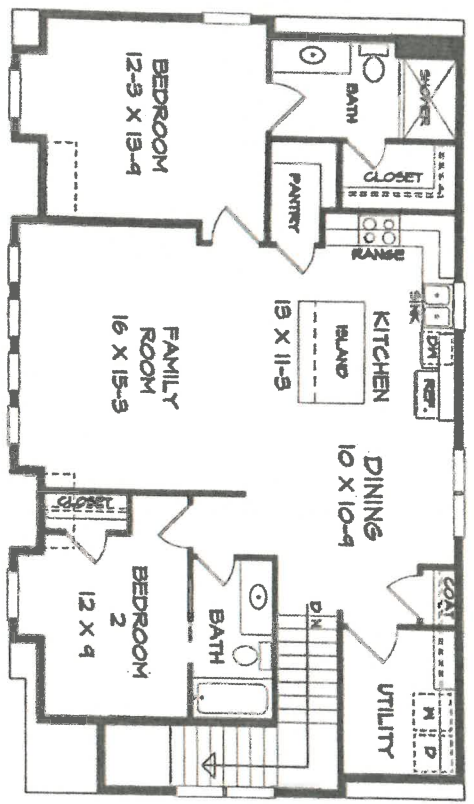
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MAIN LEVEL FLOOR PLAN

WIDTH - 48'-6"
DEPTH - 28'-0"



UPPER LEVEL FLOOR PLAN



THIS IS A ONE TIME BUILD CONSTRUCTION LICENSE ISSUED 1-4-2022
THE CONSTRUCTION LICENSE TO BUILD THIS PLAN WAS ISSUED TO:

ANTHONY BERNARD
4 KRUBS KROSSING
EAST GREENBUSH, NY 12061

NO ONE ELSE IS ALLOWED TO BUILD FROM THIS PLAN.
A SIGNED CONSTRUCTION LICENSE WAS ISSUED WITH THIS
PLAN FOR PROOF OF AUTHENTICITY. ALL BUILDING DEPARTMENTS
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A BUILDING PERMIT FOR CONSTRUCTION TO BE PROTECTED AGAINST
ANY COPYRIGHT VIOLATION

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ATLANTA GA
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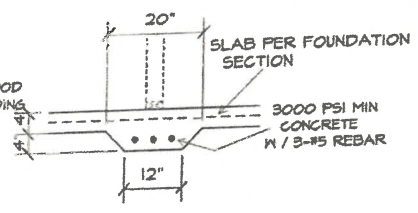
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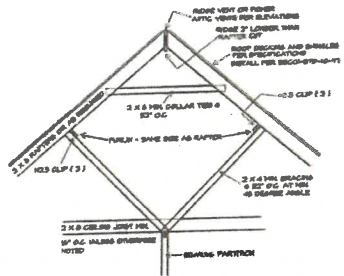


CONSTRUCTION
DETAIL
SHEET

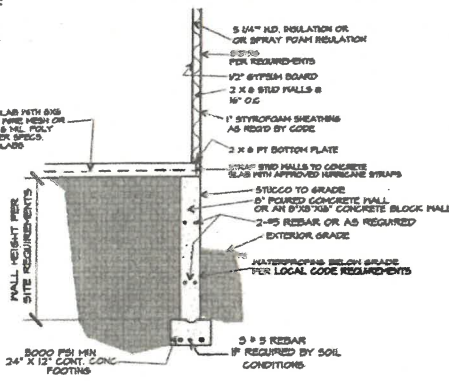
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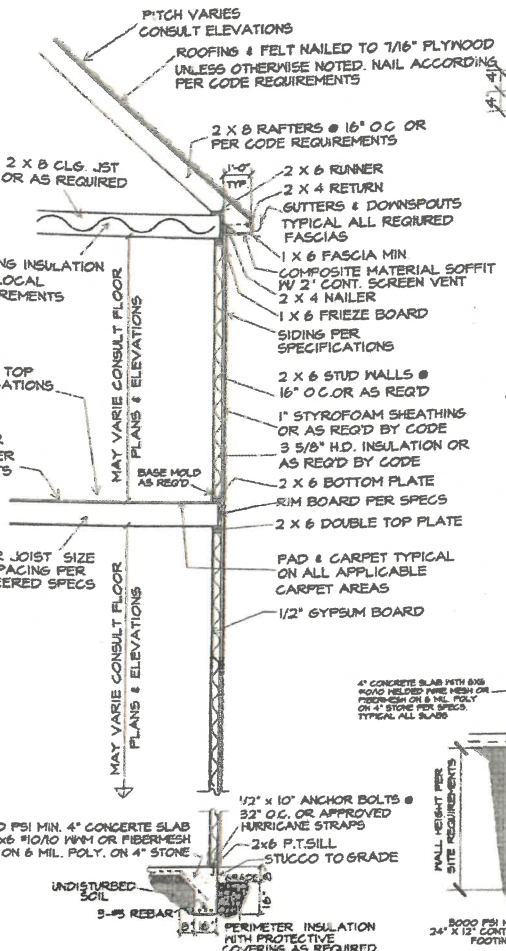
GRADE BEAM DETAIL



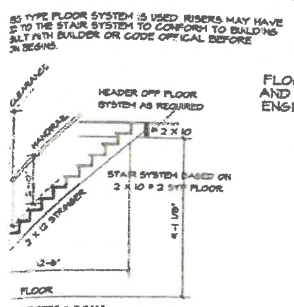
TYPICAL ROOF BRACING
DETAIL



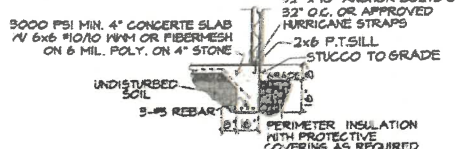
OPTIONAL STEM WALL
FOUNDATION SECTION



2 STORY SIDING WALL SECTION



CEILING STAIR DETAIL



5000 PSI MIN. 4" CONCRETE SLAB
#5 REBAR
2x6 P.T. SILL
STUCCO TO GRADE
PERIMETER INSULATION
WITH PROTECTIVE
COVERING AS REQUIRED

IF TYPE FLOOR SYSTEM IS USED RISERS MAY HAVE
TO THE STAIR SYSTEM TO CONFORM TO BUILDING
SILT WITH BUILDER OR CODE OFFICIAL BEFORE
IN BEGINS.

3-8"
CLEARANCE
HEADER OFF FLOOR
SYSTEM AS REQUIRED
2 X 10
STAIR SYSTEM BASED ON
2 X 10 @ 2 SFT FLOOR
4'-1 1/2"
FLOOR
#5 REBAR @ 7' TIES
#5 REBAR @ 10' IN 1/2" COVERS

FLOOR JOIST SIZE
AND SPACING PER
ENGINEERED SPECS
MAY VARY CONSULT FLOOR
PLANS & ELEVATIONS

3/4" T & G SUBFLOOR
GLUED & SCREWD PER
A.P.A. REQUIREMENTS

R-49 MIN CEILING INSULATION
OR PER LOCAL
CODE REQUIREMENTS

PITCH VARIES
CONSULT ELEVATIONS
ROOFING & FELT NAILED TO 7/16" PLYWOOD
UNLESS OTHERWISE NOTED. NAIL ACCORDING
PER CODE REQUIREMENTS

2 X 8 RAFTERS @ 16" O.C. OR
PER CODE REQUIREMENTS

2 X 8 CLG. JST
OR AS REQUIRED

2 X 6 RUNNER
2 X 4 RETURN

GUTTERS & DOWNSPOUTS
TYPICAL ALL REQUIRED
FASCIAS

1 X 6 FASCIA MIN
COMPOSITE MATERIAL SOFFIT
1/4" 2' CONT. SCREEN VENT
2 X 4 NAILER
1 X 6 FRIEZE BOARD
SIDING PER
SPECIFICATIONS

2 X 6 STUD WALLS @
16" O.C. OR AS REQ'D

1" STYROFOAM SHEATHING
OR AS REQ'D BY CODE
3 5/8" H.D. INSULATION OR
AS REQ'D BY CODE

2 X 6 BOTTOM PLATE
RIM BOARD PER SPECS

2 X 6 DOUBLE TOP PLATE

PAD & CARPET TYPICAL
ON ALL APPLICABLE
CARPET AREAS

1/2" GYPSUM BOARD

4" CONCRETE SLAB WITH 5/8"
#5 REBAR HELD 1" FROM FINISH OR
PROVISION OR 3/4" POLY
ON 4" STONE FOR SPECS.
TYPICAL ALL SLABS

1/2" x 10" ANCHOR BOLTS @
32" O.C. OR APPROVED
HURRICANE STRAPS

2x6 P.T. SILL
STUCCO TO GRADE

UNDISTURBED
SOIL

PERIMETER INSULATION
WITH PROTECTIVE
COVERING AS REQUIRED

WALL HEIGHT PER
SITE REQUIREMENTS

5000 PSI MIN
24" X 12" CONT. CONC.
FOOTING

5/8" H.D. INSULATION OR
OR SPRAY FOAM INSULATION
PER REQUIREMENTS

1/2" GYPSUM BOARD

2 X 6 STUD WALLS @
16" O.C.

1" STYROFOAM SHEATHING
AS REQ'D BY CODE

2 X 6 FT BOTTOM PLATE

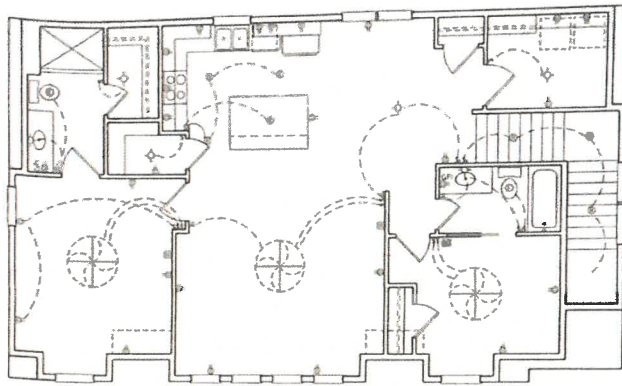
STUCCO TO GRADE
OR APPROVED HURRICANE STRAPS

STUCCO TO GRADE
OR APPROVED HURRICANE STRAPS

2-#5 REBAR OR AS REQUIRED
EXTERIOR GRADE

WATERPROOFING BELOW GRADE
PER LOCAL CODE REQUIREMENTS

5/8" REBAR
IF REQUIRED BY SOIL
CONDITIONS



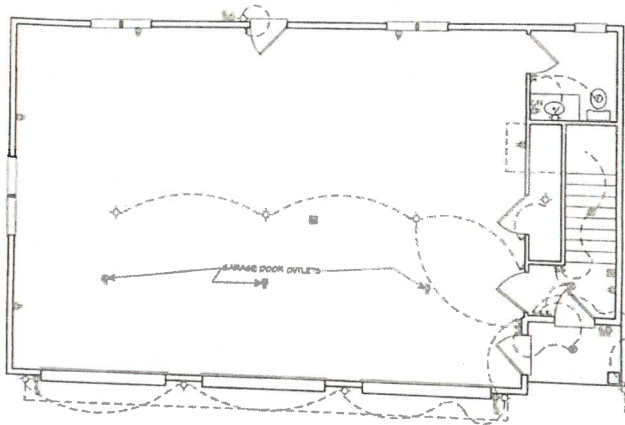
UPPER LEVEL ELECTRICAL PLAN

NOTE: REVIEW ALL ELECTRICAL WITH OWNER / BUILDER BEFORE INSTALLATION

NOTE: LOCATE ALL CARBON MONOXIDE DETECTORS AS REQUIRED BY CODE

NOTE: LOCATE ALL EXTERIOR FLOOD LIGHTS PER OWNER LOCATION

ALL DIMENSIONS ARE CONTAINED HEREIN. MARKED TO NOT SCALE. ANY DISCREPANCY BETWEEN THIS SET OF PLANS AND THE FIELD SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.



MAIN LEVEL ELECTRICAL PLAN

THIS IS A ONE TIME BUILD CONSTRUCTION LICENSE ISSUED 1-4-2022
THE CONSTRUCTION LICENSE TO BUILD THIS PLAN WAS ISSUED TO:
ANTHONY BERRARD
4 JORDAN CROSSING
EAST GREENSBORO, NC 27001

NO ONE ELSE IS ALLOWED TO BUILD FROM THIS PLAN.
A SIGNED CONSTRUCTION LICENSE HAS BEEN ISSUED WITH THIS PLAN FOR PROOF OF AUTHORITY. ALL BUILDING DEPARTMENTS MUST ASK FOR THE CONSTRUCTION LICENSE BEFORE ISSUING A BUILDING PERMIT FOR CONSTRUCTION TO BE PROTECTED AGAINST ANY COPYRIGHT VIOLATION.

IF THIS STAMP IS NOT IN RED THEN THIS IS AN ILLEGAL SET OF PLANS

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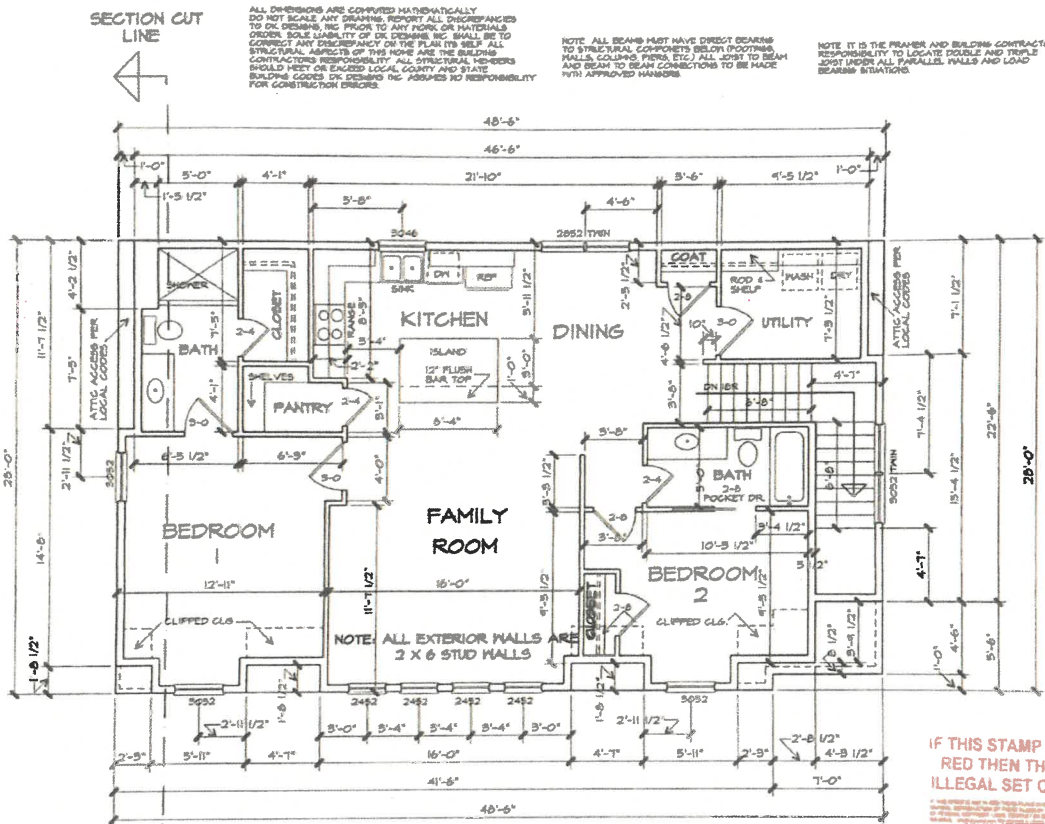
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6758D
ANTONVILLE

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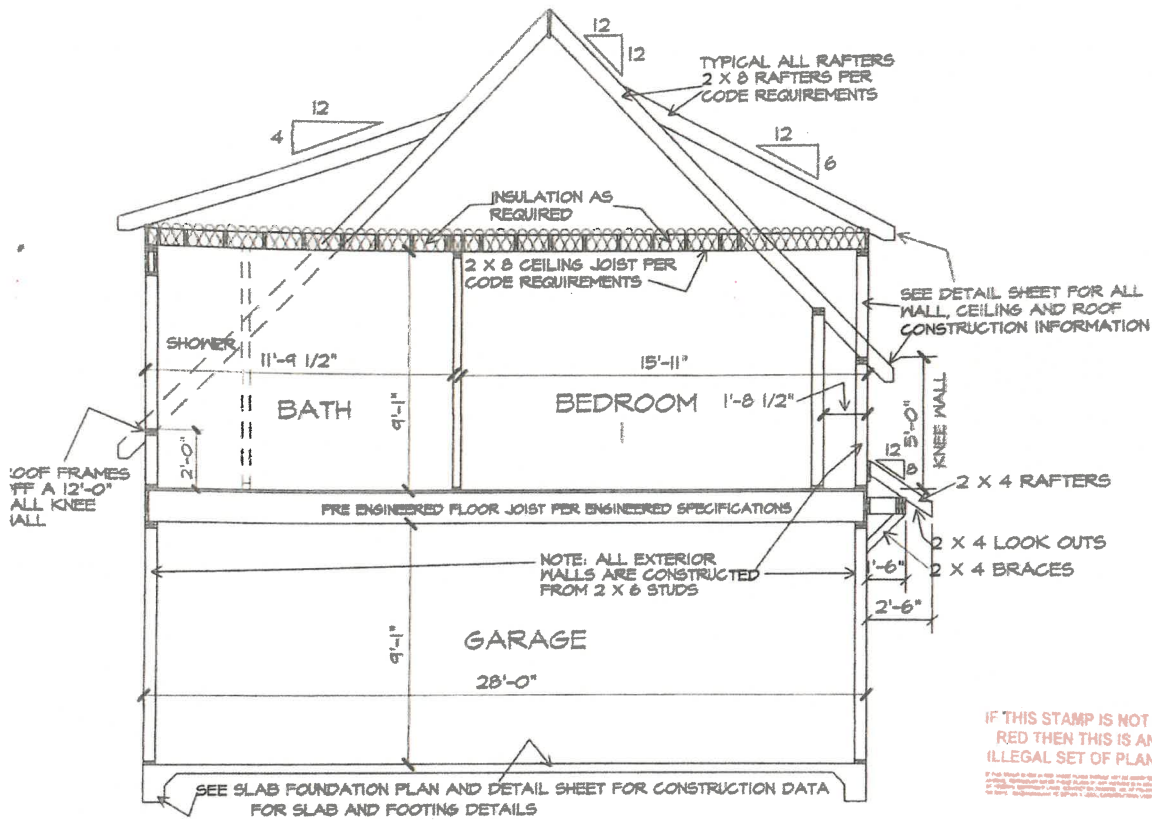


6F3D
MINTONVILLE

THIS IS A ONE TIME BUILD CONSTRUCTION LICENSE ISSUED 1-4-2022
THE CONSTRUCTION LICENSE TO BUILD THIS PLAN WAS ISSUED TO:
ANTHONY BERNARD
4 KRISSE KROSONS
EAST GREENBUSH, NY 12061

NO ONE ELSE IS ALLOWED TO BUILD FROM THIS PLAN.
A SIGNED CONSTRUCTION LICENSE WAS ISSUED WITH THIS PLAN FOR PROOF OF AUTHENTICITY. ALL BUILDING DEPARTMENTS MUST ASK FOR THE CONSTRUCTION LICENSE BEFORE ISSUING A BUILDING PERMIT FOR CONSTRUCTION TO BE PROTECTED AGAINST ANY COPYRIGHT VIOLATION.

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CROSS SECTION DETAIL

THIS IS A ONE TIME BUILD CONSTRUCTION LICENSE ISSUED 1-4-2022
 THE CONSTRUCTION LICENSE TO BUILD THIS PLAN WAS ISSUED TO:
 ANTHONY BERNARD
 4 KRESS CROSSING
 EAST GREENBUSH, NY 12061
 NO ONE ELSE IS ALLOWED TO BUILD FROM THIS PLAN.
 A SIGNED CONSTRUCTION LICENSE WAS ISSUED WITH THIS
 PLAN FOR PROOF OF AUTHENTICITY. ALL BUILDING DEPARTMENTS
 MUST ASK FOR THE CONSTRUCTION LICENSE BEFORE ISSUING A
 A BUILDING PERMIT FOR CONSTRUCTION TO BE PROTECTED AGAINST
 ANY COPYRIGHT VIOLATION

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 RESERVED. ANY DUPLICATION, DISTRIBUTION
 OR REPRODUCTION OF THIS PLAN OR ANY PART
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GPSP
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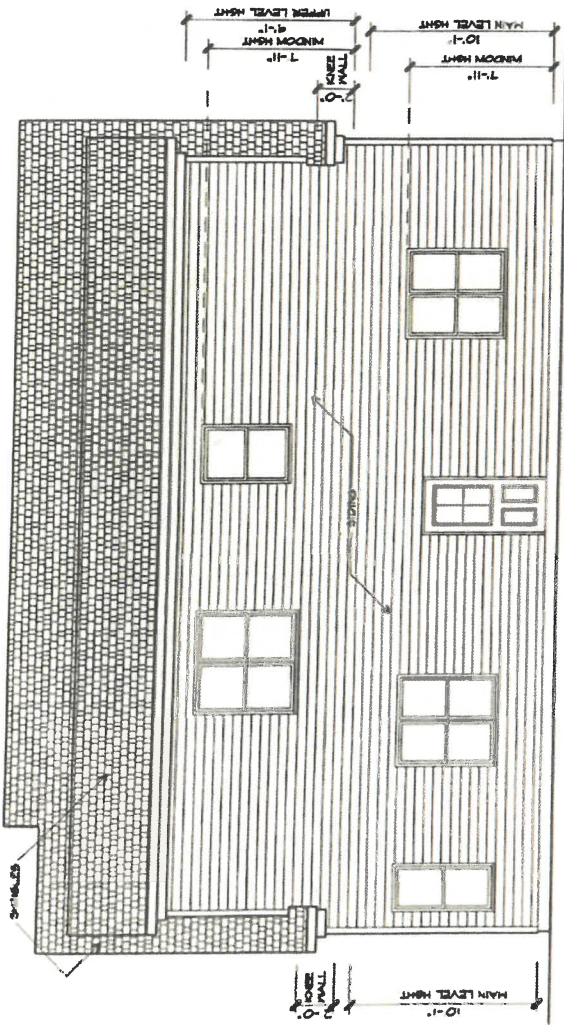


GP3D
MINTONVILLE

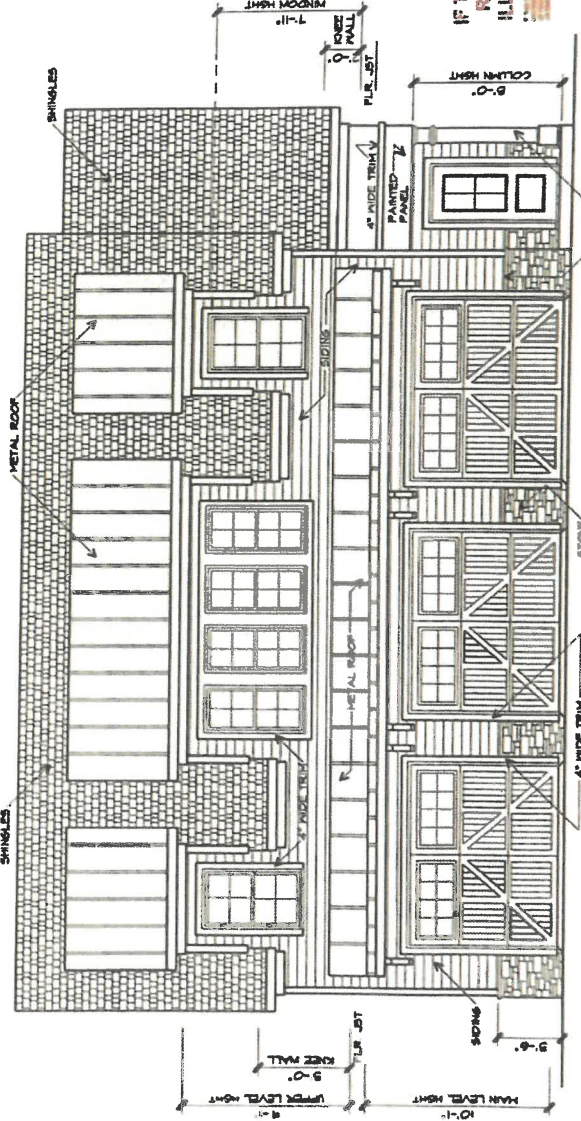
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THIS IS A ONE TIME BUILD CONSTRUCTION LICENSE ISSUED 1-1-2022
THE CONSTRUCTION LICENSE TO BUILD THIS PLAN WAS ISSUED TO:
ANTHONY BROWARD
4 CROSS CREEK ROAD
EAST GREENBUSH, NY 12061
NO ONE ELSE IS ALLOWED TO BUILD FROM THIS PLAN
A SIGNED CONSTRUCTION LICENSE WAS ISSUED WITH THIS
PLAN FOR PROOF OF AUTHORITY. ALL BUILDING DEPARTMENTS
MUST ASK FOR THE CONSTRUCTION LICENSE BEFORE ISSUING A
BUILDING PERMIT FOR CONSTRUCTION TO BE PROTECTED AGAINST
ANY COPYRIGHT VIOLATION
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REAR ELEVATION
1/4" = 1'-0"



FRONT ELEVATION
1/4" = 1'-0"

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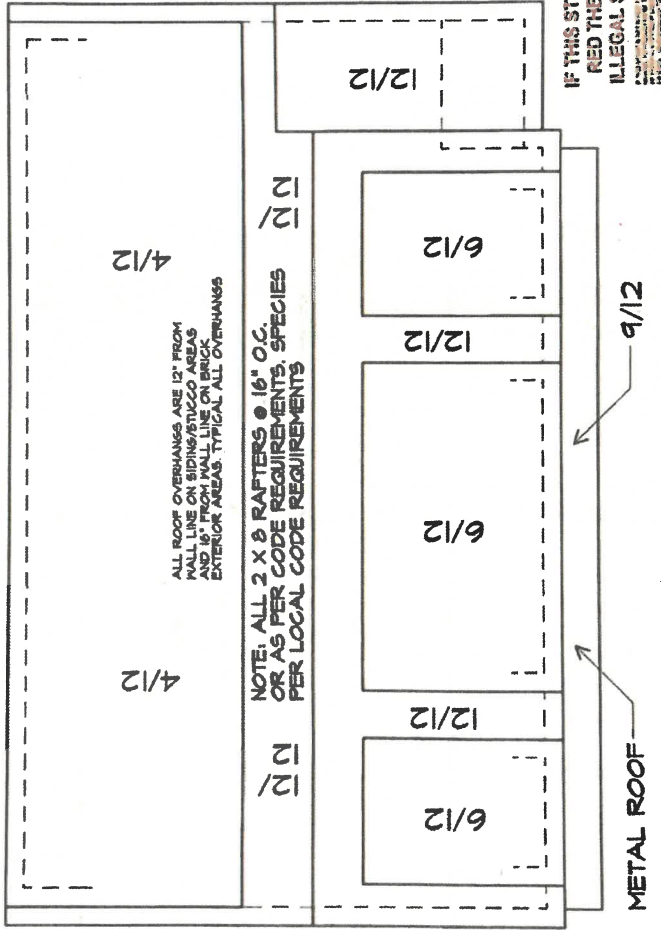
9



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MINTONVILLE

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IF THIS STAMP IS NOT IN RED THEN THIS IS AN ILLEGAL SET OF PLANS

THIS IS A ONE TIME BUILD CONSTRUCTION LICENSE ISSUED 1-4-2022 THE CONSTRUCTION LICENSE TO BUILD THIS PLAN HAS ISSUED TO:

ANTHONY BERNARD
4 KRISSE KROSNAN

EAST GREENBUSH NY 12041

NO ONE ELSE IS ALLOWED TO BUILD FROM THIS PLAN. A SIGNED CONSTRUCTION LICENSE HAS ISSUED WITH THIS PLAN FOR PROOF OF AUTHENTICITY. ALL BUILDING DEPARTMENTS MUST ASK FOR THE CONSTRUCTION LICENSE BEFORE ISSUING A BUILDING PERMIT FOR CONSTRUCTION TO BE PROTECTED AGAINST ANY COPYRIGHT VIOLATION

ALL DIMENSIONS ARE GIVEN MATHEMATICALLY. DO NOT SCALE ANY DRAWING. REPORT ALL DIMENSIONS TO ONE DECIMAL PLACE. THE USER SHALL BE RESPONSIBLE TO VERIFY ALL DIMENSIONS OF THE PROJECT. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONSTRUCTION RESPONSIBILITY. ALL DIMENSIONS, NOTES AND SPECIFICATIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. BUILDING SECTION: DK DESIGNS, INC. ANALYSIS: NO RESPONSIBILITY FOR CONSTRUCTION ERRORS.

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ATLANTA, GA.
770-460-4445

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9
SHEET

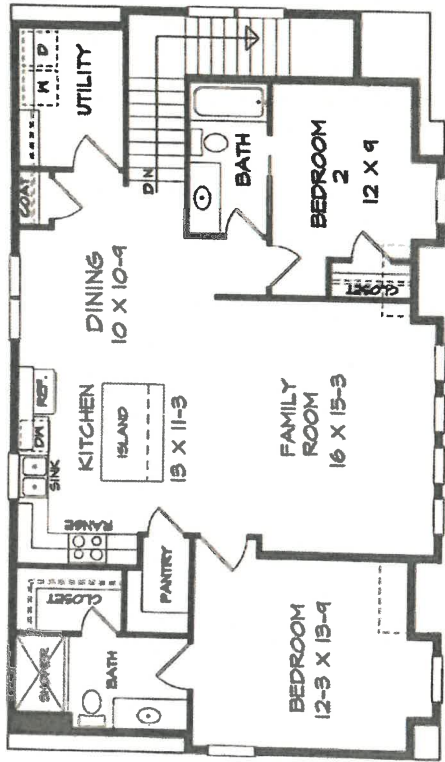
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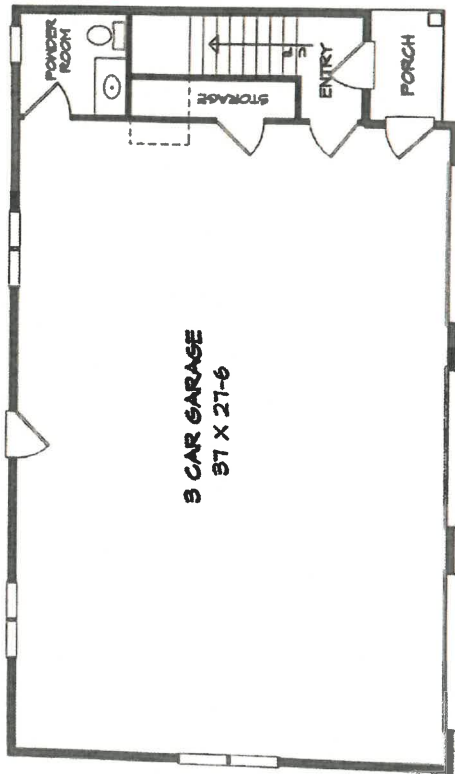
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THIS IS A ONE-TIME BUILD CONSTRUCTION LICENSE ISSUED 1-4-2022
THE CONSTRUCTION LICENSE TO BUILD THIS PLAN WAS ISSUED TO:
ANTHONY DEWAND
4 RUSSELL KROENING
EAST GREENBUSH, NY 12061
NO ONE ELSE IS ALLOWED TO BUILD FROM THIS PLAN.
A SIGNED CONSTRUCTION LICENSE WAS ISSUED WITH THIS
PLAN FOR PROOF OF AUTHENTICITY. ALL BUILDING DEPARTMENTS
MUST ASK FOR THE CONSTRUCTION LICENSE BEFORE ISSUING A
BUILDING PERMIT FOR CONSTRUCTION TO BE PROTECTED AGAINST
ANY COPYRIGHT VIOLATION.

IF THIS STAMP IS NOT IN
RED THEN THIS IS AN
ILLEGAL SET OF PLANS

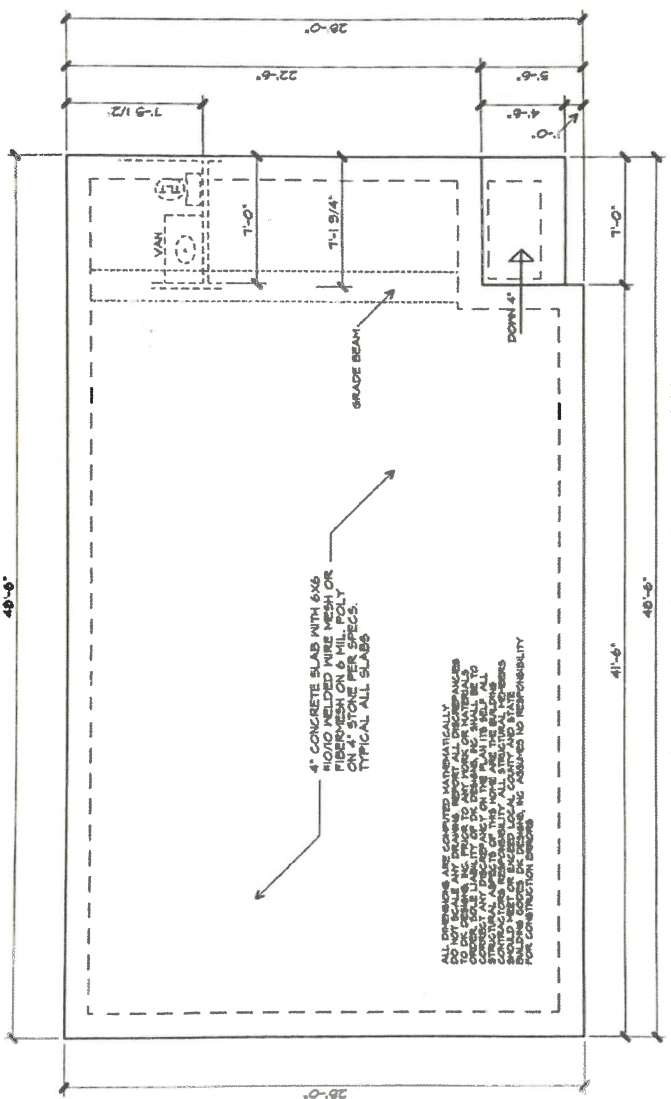


UPPER LEVEL FLOOR PLAN



WIDTH - 48'-6"
DEPTH - 28'-0"

MAIN LEVEL FLOOR PLAN



SLAB FOUNDATION PLAN

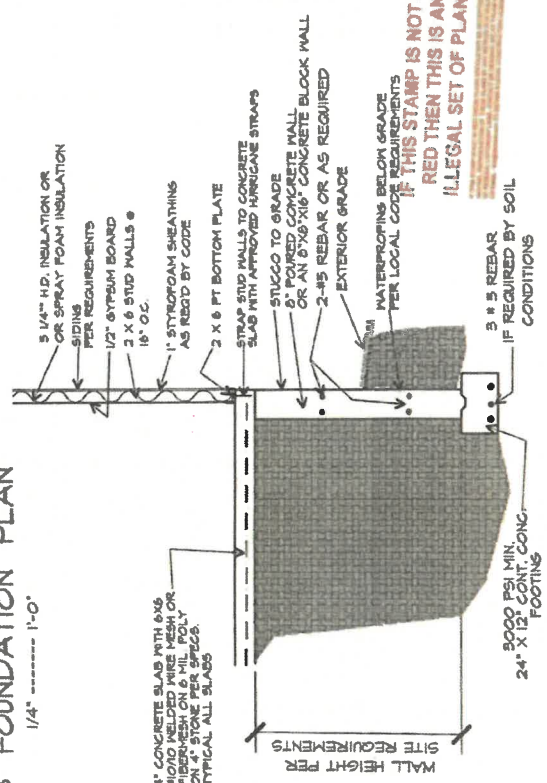
1/4" = 1'-0"

THIS IS A ONE TIME BUILD CONSTRUCTION LICENSE ISSUED 1-15-2022
 THE CONSTRUCTION LICENSE TO BUILD THIS PLAN WAS ISSUED TO:

ANTHONY BERNARD
 4 HOUSE KITCHENS
 EAST GREENBUSH NY 12041

NO ONE ELSE IS ALLOWED TO BUILD FROM THIS PLAN.
 A SHARED CONSTRUCTION LICENSE WAS ISSUED WITH THIS PLAN FOR PROOF OF AUTHENTICITY. ALL BUILDING DEPARTMENTS MUST ASK FOR THE CONSTRUCTION LICENSE BEFORE ISSUING A BUILDING PERMIT FOR CONSTRUCTION TO BE PROTECTED AGAINST ANY COPYRIGHT VIOLATION

OPTIONAL STEM WALL FOUNDATION SECTION



IF THIS STAMP IS NOT IN RED THEN THIS IS AN ILLEGAL SET OF PLANS

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 770-460-4448

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8 SHEET



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NO ONE ELSE IS ALLOWED TO BUILD FROM THIS PLAN. A SIGNED CONSTRUCTION LICENSE WAS ISSUED WITH THIS PLAN FOR PROOF OF AUTHENTICITY. ALL BUILDING DEPARTMENTS MUST ASK FOR THE CONSTRUCTION LICENSE BEFORE ISSUING A BUILDING PERMIT FOR CONSTRUCTION TO BE PROTECTED AGAINST ANY COPYRIGHT VIOLATION.

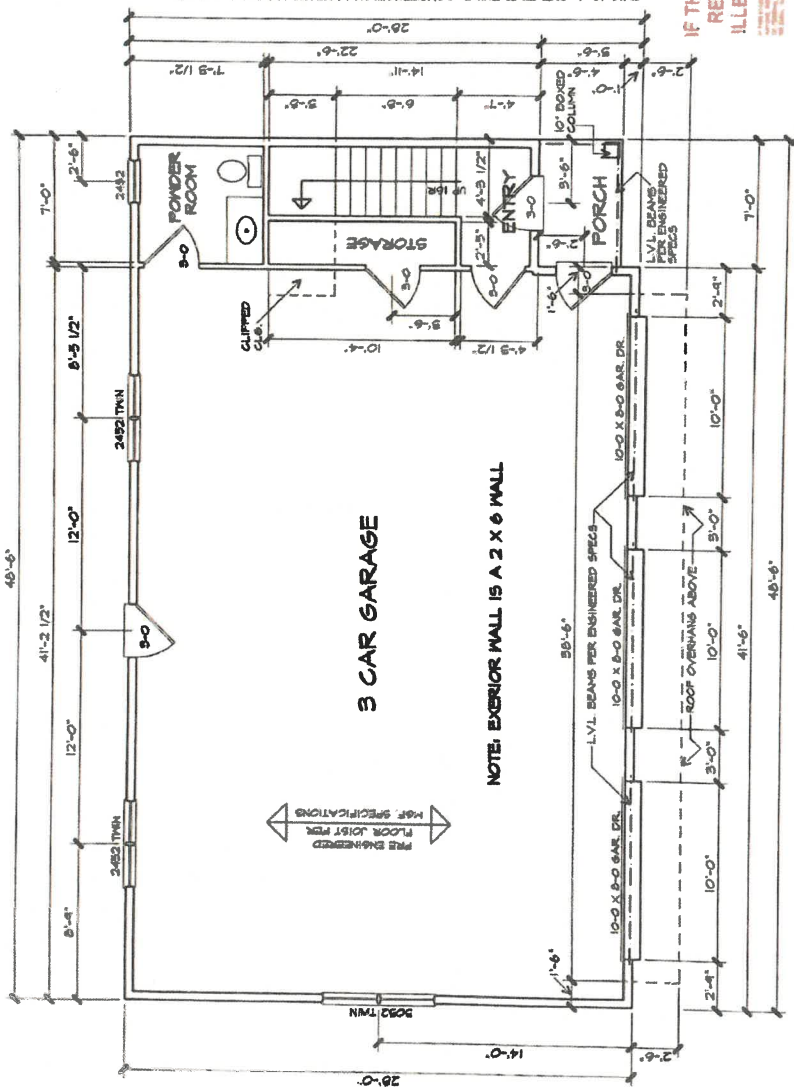
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NOTE: IT IS THE OWNER'S AND BUILDING CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS, MATERIALS, AND LOADS. THE ARCHITECT ASSUMES NO LIABILITY FOR CONSTRUCTION SITUATIONS.

NOTE: ALL BEAMS MUST HAVE DIRECT BEARING WALLS OR COLUMNS PERMITTED. ALL WALLS MUST BE BUILT WITH APPROVED FINISHES.

ALL DIMENSIONS ARE GIVEN UNLESS OTHERWISE NOTED. DO NOT SCALE ANY DRAWING. REPORT ALL DISCREPANCIES TO THE ARCHITECT IMMEDIATELY. THE ARCHITECT ASSUMES NO LIABILITY FOR CONSTRUCTION SITUATIONS. THE ARCHITECT ASSUMES NO LIABILITY FOR CONSTRUCTION SITUATIONS. THE ARCHITECT ASSUMES NO LIABILITY FOR CONSTRUCTION SITUATIONS.



THIS IS A ONE TIME BUILD CONSTRUCTION LICENSE ISSUED 1-4-2022
ANTHONY BROWARD
4 KRISSE BROWARD
EAST GREENBURGH, NY 12061
NO ONE ELSE IS ALLOWED TO BUILD FROM THIS PLAN.

MAIN LEVEL FLOOR PLAN
1/4" = 1'-0"

MAIN LEVEL - 1204 SQ. FT.
UPPER LEVEL - 1114 SQ. FT.
TOTAL = 2318 SQ. FT.

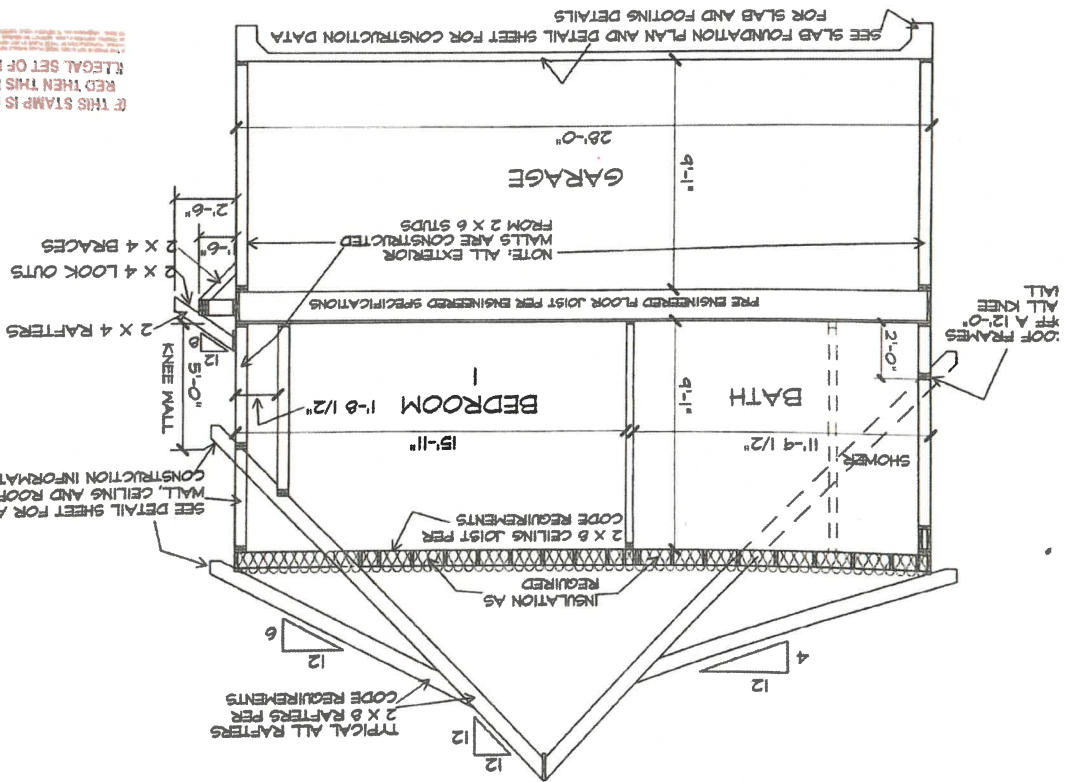
CROSS SECTION DETAIL

THIS IS A ONE-TIME BUILD CONSTRUCTION LICENSE ISSUED 1-4-2022
 THE CONSTRUCTION LICENSE TO BUILD THIS PLAN WAS ISSUED TO:
 ANTHONY DEWANE
 4 CROSS CROSSLANE
 EAST GREENBUSH, NY 12041
 NO ONE ELSE IS ALLOWED TO BUILD FROM THIS PLAN.
 A SIGNED CONSTRUCTION LICENSE MUST BE ISSUED WITH THIS
 PLAN FOR PROOF OF AUTHORITY. ALL BUILDING DEPARTMENTS
 MUST ASK FOR THE CONSTRUCTION LICENSE BEFORE ISSUING A
 BUILDING PERMIT FOR CONSTRUCTION TO BE PROTECTED AGAINST
 ANY COPYRIGHT VIOLATION.

IF THIS STAMP IS NOT IN
 RED THEN THIS IS AN
 ILLEGAL SET OF PLANS

SEE DETAIL SHEET FOR ALL
 WALL, CEILING AND ROOF
 CONSTRUCTION INFORMATION

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SPBD
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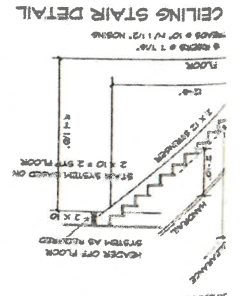
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Sheet 5

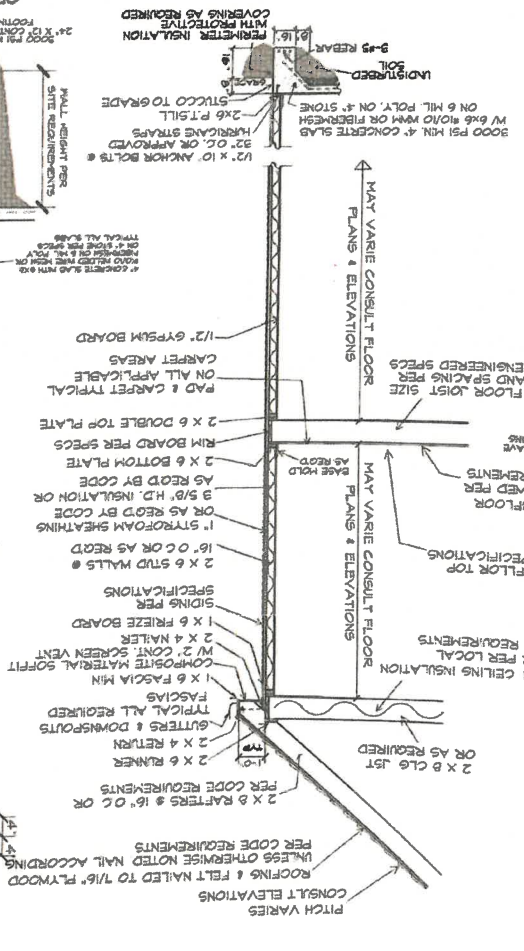
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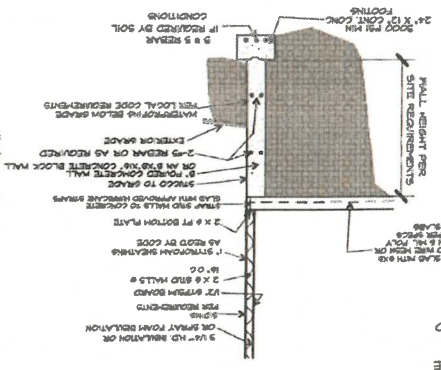
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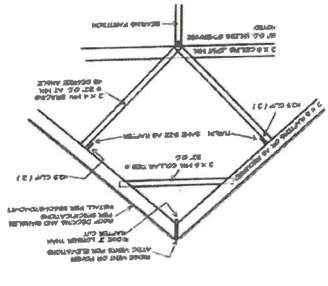
2 STORY SIDING WALL SECTION



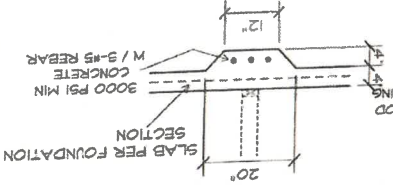
OPTIONAL STEM WALL FOUNDATION SECTION



TYPICAL ROOF BRACINGS



GRADE BEAM DETAIL



CONSTRUCTION
DETAIL
SHEET



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770-460-4445



1 REINFORCEMENT DETAIL
SECTION 111

1. REINFORCEMENT BARS SHALL BE AS SPECIFIED IN THE SCHEDULE OF MATERIALS.

2. REINFORCEMENT BARS SHALL BE PLACED AS SHOWN IN THE DETAIL.

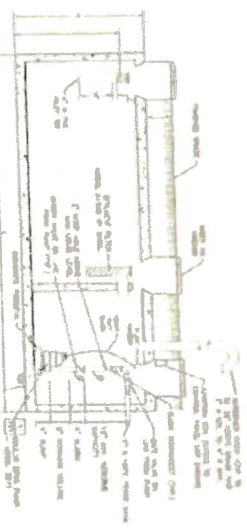
3. THE REINFORCEMENT BARS SHALL BE TIED TOGETHER AT ALL CORNERS AND INTERSECTIONS.

4. THE REINFORCEMENT BARS SHALL BE PLACED AT THE TOP OF THE SLAB AT THE PERIMETER OF THE SLAB.

5. THE REINFORCEMENT BARS SHALL BE PLACED AT THE BOTTOM OF THE SLAB AT THE INTERIOR OF THE SLAB.

6. THE REINFORCEMENT BARS SHALL BE PLACED AT THE TOP OF THE SLAB AT THE INTERIOR OF THE SLAB AT THE PERIMETER OF THE SLAB.

7. THE REINFORCEMENT BARS SHALL BE PLACED AT THE BOTTOM OF THE SLAB AT THE INTERIOR OF THE SLAB AT THE PERIMETER OF THE SLAB.



2 SHALLOW ABSORPTION TRENCH DETAIL
SECTION 111

1. THE SHALLOW ABSORPTION TRENCH SHALL BE AS SPECIFIED IN THE SCHEDULE OF MATERIALS.

2. THE SHALLOW ABSORPTION TRENCH SHALL BE PLACED AS SHOWN IN THE DETAIL.

3. THE SHALLOW ABSORPTION TRENCH SHALL BE TYPICALLY 18 INCHES DEEP AND 18 INCHES WIDE.

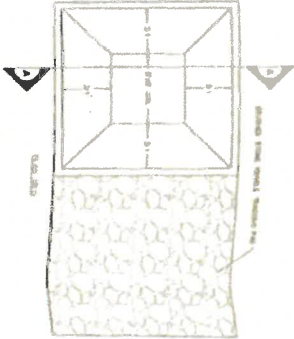
4. THE SHALLOW ABSORPTION TRENCH SHALL BE CONCRETE.

5. THE SHALLOW ABSORPTION TRENCH SHALL BE PLACED AT THE PERIMETER OF THE SLAB.

6. THE SHALLOW ABSORPTION TRENCH SHALL BE PLACED AT THE INTERIOR OF THE SLAB AT THE PERIMETER OF THE SLAB.

7. THE SHALLOW ABSORPTION TRENCH SHALL BE PLACED AT THE TOP OF THE SLAB AT THE PERIMETER OF THE SLAB.

8. THE SHALLOW ABSORPTION TRENCH SHALL BE PLACED AT THE BOTTOM OF THE SLAB AT THE PERIMETER OF THE SLAB.



3 CONCRETE SLAB DETAIL
SECTION 111

1. THE CONCRETE SLAB SHALL BE AS SPECIFIED IN THE SCHEDULE OF MATERIALS.

2. THE CONCRETE SLAB SHALL BE PLACED AS SHOWN IN THE DETAIL.

3. THE CONCRETE SLAB SHALL BE TYPICALLY 4 INCHES THICK.

4. THE CONCRETE SLAB SHALL BE PLACED AT THE PERIMETER OF THE SLAB.

5. THE CONCRETE SLAB SHALL BE PLACED AT THE INTERIOR OF THE SLAB AT THE PERIMETER OF THE SLAB.

6. THE CONCRETE SLAB SHALL BE PLACED AT THE TOP OF THE SLAB AT THE PERIMETER OF THE SLAB.

7. THE CONCRETE SLAB SHALL BE PLACED AT THE BOTTOM OF THE SLAB AT THE PERIMETER OF THE SLAB.



4 SHALLOW ABSORPTION TRENCH DETAIL
SECTION 111

1. THE SHALLOW ABSORPTION TRENCH SHALL BE AS SPECIFIED IN THE SCHEDULE OF MATERIALS.

2. THE SHALLOW ABSORPTION TRENCH SHALL BE PLACED AS SHOWN IN THE DETAIL.

3. THE SHALLOW ABSORPTION TRENCH SHALL BE TYPICALLY 18 INCHES DEEP AND 18 INCHES WIDE.

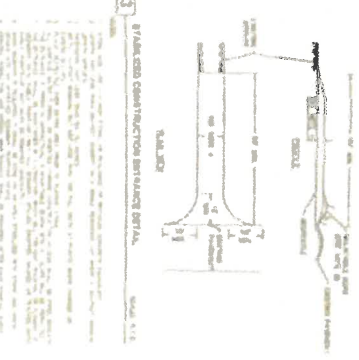
4. THE SHALLOW ABSORPTION TRENCH SHALL BE CONCRETE.

5. THE SHALLOW ABSORPTION TRENCH SHALL BE PLACED AT THE PERIMETER OF THE SLAB.

6. THE SHALLOW ABSORPTION TRENCH SHALL BE PLACED AT THE INTERIOR OF THE SLAB AT THE PERIMETER OF THE SLAB.

7. THE SHALLOW ABSORPTION TRENCH SHALL BE PLACED AT THE TOP OF THE SLAB AT THE PERIMETER OF THE SLAB.

8. THE SHALLOW ABSORPTION TRENCH SHALL BE PLACED AT THE BOTTOM OF THE SLAB AT THE PERIMETER OF THE SLAB.



5 SHALLOW ABSORPTION TRENCH DETAIL
SECTION 111

1. THE SHALLOW ABSORPTION TRENCH SHALL BE AS SPECIFIED IN THE SCHEDULE OF MATERIALS.

2. THE SHALLOW ABSORPTION TRENCH SHALL BE PLACED AS SHOWN IN THE DETAIL.

3. THE SHALLOW ABSORPTION TRENCH SHALL BE TYPICALLY 18 INCHES DEEP AND 18 INCHES WIDE.

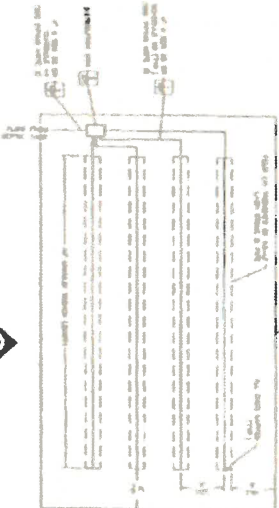
4. THE SHALLOW ABSORPTION TRENCH SHALL BE CONCRETE.

5. THE SHALLOW ABSORPTION TRENCH SHALL BE PLACED AT THE PERIMETER OF THE SLAB.

6. THE SHALLOW ABSORPTION TRENCH SHALL BE PLACED AT THE INTERIOR OF THE SLAB AT THE PERIMETER OF THE SLAB.

7. THE SHALLOW ABSORPTION TRENCH SHALL BE PLACED AT THE TOP OF THE SLAB AT THE PERIMETER OF THE SLAB.

8. THE SHALLOW ABSORPTION TRENCH SHALL BE PLACED AT THE BOTTOM OF THE SLAB AT THE PERIMETER OF THE SLAB.



6 SHALLOW ABSORPTION TRENCH DETAIL
SECTION 111

1. THE SHALLOW ABSORPTION TRENCH SHALL BE AS SPECIFIED IN THE SCHEDULE OF MATERIALS.

2. THE SHALLOW ABSORPTION TRENCH SHALL BE PLACED AS SHOWN IN THE DETAIL.

3. THE SHALLOW ABSORPTION TRENCH SHALL BE TYPICALLY 18 INCHES DEEP AND 18 INCHES WIDE.

4. THE SHALLOW ABSORPTION TRENCH SHALL BE CONCRETE.

5. THE SHALLOW ABSORPTION TRENCH SHALL BE PLACED AT THE PERIMETER OF THE SLAB.

6. THE SHALLOW ABSORPTION TRENCH SHALL BE PLACED AT THE INTERIOR OF THE SLAB AT THE PERIMETER OF THE SLAB.

7. THE SHALLOW ABSORPTION TRENCH SHALL BE PLACED AT THE TOP OF THE SLAB AT THE PERIMETER OF THE SLAB.

8. THE SHALLOW ABSORPTION TRENCH SHALL BE PLACED AT THE BOTTOM OF THE SLAB AT THE PERIMETER OF THE SLAB.



7 SHALLOW ABSORPTION TRENCH DETAIL
SECTION 111

1. THE SHALLOW ABSORPTION TRENCH SHALL BE AS SPECIFIED IN THE SCHEDULE OF MATERIALS.

2. THE SHALLOW ABSORPTION TRENCH SHALL BE PLACED AS SHOWN IN THE DETAIL.

3. THE SHALLOW ABSORPTION TRENCH SHALL BE TYPICALLY 18 INCHES DEEP AND 18 INCHES WIDE.

4. THE SHALLOW ABSORPTION TRENCH SHALL BE CONCRETE.

5. THE SHALLOW ABSORPTION TRENCH SHALL BE PLACED AT THE PERIMETER OF THE SLAB.

6. THE SHALLOW ABSORPTION TRENCH SHALL BE PLACED AT THE INTERIOR OF THE SLAB AT THE PERIMETER OF THE SLAB.

7. THE SHALLOW ABSORPTION TRENCH SHALL BE PLACED AT THE TOP OF THE SLAB AT THE PERIMETER OF THE SLAB.

8. THE SHALLOW ABSORPTION TRENCH SHALL BE PLACED AT THE BOTTOM OF THE SLAB AT THE PERIMETER OF THE SLAB.

	STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION DIVISION OF HIGHWAYS	PROJECT NO. 2000-0000 SHEET NO. 2000-0000
	DATE: 02/01/2000 DRAWN BY: [Name] CHECKED BY: [Name]	TITLE: SHALLOW ABSORPTION TRENCH DETAIL



OFFICE OF THE SCHENECTADY COUNTY CLERK

620 STATE STREET
SCHENECTADY, NY 12305-2114
PHONE (518) 388-4220
FAX (518) 388-4224

Cara M. Ackerley
County Clerk

Instrument Number - 202201640
Recorded On 1/11/2022 At 10:43:13 AM
* Instrument Type - DEED
* Book/Page - DEED/2076/130
* Total Pages - 4
Invoice Number - 1112539 User ID: KAF
* Document Number - 2022-268
* Grantor - DEFORST JONATHAN H

* Grantee - BERNARD ANTHONY R

*RETURN DOCUMENT TO:
BETHANY SCHUMANN-MCGHEE ESQ
1230 RIVERFRONT CENTER
AMSTERDAM, NY 12010

* FEES

NY REALTY TRANSFER TAX	\$100.00
NY LAND SUR	\$4.75
NY E & A FEES	\$241.00
NY LAND COMP SUR	\$14.25
CO GENERAL REVENUE	\$45.00
CO LAND SUR	\$0.25
CO E & A FEES	\$9.00
CO LAND COMP SUR	\$0.75
CONVEYANCE NOTIFICATION	\$10.00
TOTAL PAID	\$425.00

TRANSFER TAX

Real Estate Transfer Tax Num - 2438
Transfer Tax Amount - \$ 100.00

I hereby CONFIRM that this document is
Recorded in the Schenectady County Clerk's Office
in Schenectady, New York

C. Ackerley
Cara M. Ackerley

Schenectady County Clerk

THIS IS AN ENDORSEMENT PAGE

Do Not Detach

THIS PAGE IS NOW PART OF THIS LEGAL DOCUMENT

* - Information denoted by an asterisk may change during the verification process and may not be reflected on this page.

INSTRUMENT NUMBER - 202201640



Record and Return to:
Bethany Schumann-McGhee Esq
1230 Riverfront Center
Amsterdam, NY 12010

N.Y.S.
TAX
\$

DEED

THIS INDENTURE is made the 15th day of December, 2021, between **JONATHAN H. DEFOREST**, residing at 1236 McGuire School Road, Delanson, NY 12053 (the "Grantor"), and **ANTHONY R. BERNARD**, residing at 4 Kriss Crossing, East Greenbush, New York 12061 (the "Grantee").

WITNESSETH: that the Grantor, in consideration of One Dollar (\$1.00), lawful money of the United States, and other good and valuable consideration, paid by the Grantee, the receipt of which is acknowledged by the Grantor, does hereby grant and release unto the Grantee, her heirs, successors and assigns forever,

ALL THAT CERTAIN LOT, PIECE OR PARCEL OF LAND with the buildings thereon, situate, lying and being in the Town of Duanesburg, County of Schenectady, and State of New York being more particularly set forth on Schedule "A" attached hereto and by this reference made a part hereof (hereinafter called the "Premises").

BEING THE SAME PREMISES as conveyed to the Grantor by deed made by Richard R. Vincent dated April 28, 2004 and recorded on in the Schenectady County Clerk's Office on May 6, 2004 in Book 1677 of Deeds at Page 549.

SUBJECT TO all easements, restrictions, covenants and conditions of record affecting the Premises.

TOGETHER WITH the appurtenances and all the estate and rights of the Grantor in and to the Premises,

TO HAVE AND TO HOLD the Premises unto the Grantee, her heirs, successors and assigns forever.

And the Grantor covenants as follows:

FIRST, that the Grantee shall quietly enjoy the Premises;

SECOND, that the Grantor will forever warrant the title to the Premises; and

64.00
12.14

81965

SCHEDULE "A"

LEGAL DESCRIPTION

ALL THAT CERTAIN PIECE OR PARCEL OF LAND situate, lying and being on the Southeasterly side of New York State Highway Route #30 in the Town of Duanesburg, County of Schenectady, State of New York, bounded and described as follows:

BEGINNING at a highway monument found set in the ground at the Westerly end of an old stone wall and wire fence on the Southeasterly side of New York State Highway Route #30, said monument being in distance 41 feet perpendicular from the centerline thereof, said found monument being the point of beginning of the lands herein described; thence leaving said monument on the following three (3) bearings and distances along the said highway:

North 57° 12' 45" East 273.03 feet to a point,

North 59° 45' 35" East 307.36 feet to a highway monument found set, and

North 61° 31' 30" East 54.15 feet to an iron pin set in the ground, being a 5/8" x 34" re-rod with yellow cap tagged RDSNYDER, said pin being in distance 38 feet perpendicular from the centerline of the said highway and at the most Northerly corner of the lands herein described and the most Westerly corner of the lands formerly of Detlef and Kay Sarbok (Liber 1066, Page 294); thence leaving said pin South 51° 17' 00" East 55.82 feet along the lands formerly of the said Detlef and Kay Sarbok to a point in the centerline of a small creek; thence leaving said point on the following three (3) bearings and distances along the said centerline running through the lands formerly of James L. Gage (894/112):

South 56° 46' 55" West 78.62 feet to a point,

South 16° 00' 00" East 133.62 feet to a point, and

South 08° 52' 05" East 152.48 feet to a point; thence leaving said point

North 87° 09' 10" West 581.65 feet along the lands now or formerly of James P. and Carol J. Barton (995/407), also the lands now or formerly of Frederick and Norma A. Burkhart (1055/729), being essentially along the centerline of an old stone wall and wire fence line to the point or place of beginning.

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