

Jeffery Schmitt, Planning Board Chair
Michael Harris, Vice Chairperson
Teresa Bakner, Board Attorney
Chris Parslow, Town Planner
Lindsay Althiser, Planning Clerk



Elizabeth Novak, Board Member
Joshua Houghton, Board Member
Matthew Hoffman, Board Member
Michael Walpole, Board Member

**Town of Duanesburg
Planning Board Agenda
MARCH 19, 2026**

AGENDA ITEMS MAY BE ADDED, DELETED, OR ORDER CHANGED WITHOUT NOTICE

The Town of Duanesburg offers Planning Board Meetings via Teams if you are unable to attend the meeting in person.

Please be advised this is for viewing purposes only:

**Join Microsoft Teams Meeting
Meeting ID: 210 563 695 322 50
Passcode: y9pC3ho3**

INTRODUCTION BY CHAIRPERSON JEFFERY SCHMITT

OPEN FORUM

Comments:

PUBLIC HEARINGS:

#25-22 114 North Avenue, Inc: SBL#65.00-1-5 located at 376 Turnbull Rd(R-2) is seeking a special use permit needed to turn a one-family dwelling into a two-family dwelling. Under The Town of Duanesburg Zoning Ordinance section 8.4(8) "dwelling, two family."

Comments:

Approved: Yes _____ No _____

#26-03 Smith, Christopher: SBL#75.12-2-9 located at 10086 Duanesburg Rd.(H) is seeking a sketch plan review needed to open a restaurant. Under The Town of Duanesburg Zoning Ordinance section 9.3(4) and section 9.3(24) "uses requiring site plan review"

Comments:

Approved: Yes _____ No _____

OLD BUSINESS: NONE.

Jeffery Schmitt, Planning Board Chair
Michael Harris, Vice Chairperson
Teresa Bakner, Board Attorney
Chris Parslow, Town Planner
Lindsay Althiser, Planning Clerk



Elizabeth Novak, Board Member
Joshua Houghton, Board Member
Matthew Hoffman, Board Member
Michael Walpole, Board Member

SKETCH PLAN REVIEW:

#26-05 Deforest, Jonathan: SBL#53.00-1-9.81 and 53.00-1-9.512 located at 1236 McGuire School Rd.(R-2) is seeking a lot line adjustment. Under The Town of Duanesburg local law #2, "lot line adjustment."

Comments:

Approved: Yes _____ No _____

#26-06 Callahan, Paul: SBL#67.00-2-11.41 located at 646 W. Duane Lake Rd.(R-2) is seeking a minor subdivision to turn 1 lot into 2. Under The Town of Duanesburg Subdivision Ordinance section 3.4 "minor subdivision approval."

Comments:

Approved: Yes _____ No _____

#26-04 Hawes, Karen: SBL#43.00-2-20 located at 1053 Herrick Rd.(R-2) is seeking a major subdivision to turn 1 lot into 3. Under The Town of Duanesburg Subdivision Ordinance section 3.5 "major subdivision approval."

Comments:

Approved: Yes _____ No _____

NEW BUSINESS: NONE.

OTHER: NONE.

MINUTE APPROVAL:

FEBRUARY 19, 2026, PLANNING BOARD MEETING MINUTES:

Comments:

Approved: Yes _____ No _____

ADJOURNMENT: NEXT MEETING WILL BE HELD APRIL 16, 2026

Jeffrey Schmitt, Planning Board Chair
Chris Parslow, Town Planner
Lindsay Althiser, Planning & Zoning Clerk
Terresa Bakner, Board Attorney



Michael Harris, Vice Chairperson
Elizabeth Novak, Board Member
Matthew Hoffman, Board Member
Michael Walpole, Board Member
Joshua Houghton, Board Member

TOWN OF DUANESBURG
SCHENECTADY COUNTY

NOTICE OF PUBLIC HEARING

LEGAL NOTICE NOTICE OF PUBLIC HEARING PLANNING BOARD TOWN OF DUANESBURG

PLEASE TAKE NOTICE, THAT THE PLANNING BOARD OF THE TOWN OF DUANESBURG, NEW YORK, WILL MEET AT THE TOWN HALL IN THE TOWN OF DUANESBURG, 5853 WESTERN TURNPIKE, ON **MARCH 19, 2026 AT 7:00 PM** FOR THE PURPOSE OF HEARING ALL PERSONS INTERESTED IN THE APPLICATION OF:

#25-22 114 North Avenue, Inc: SBL#65.00-1-5 located at 376 Turnbull Rd(R-2) is seeking a special use permit needed to turn a one-family dwelling into a two-family dwelling. Under The Town of Duanesburg Zoning Ordinance section 8.4(8) "dwelling, two family."

APPLICATION INFORMATION IS AVAILABLE DURING BUSINESS HOURS

BY ORDER OF THE CHAIRPERSON
PLANNING BOARD
TOWN OF DUANESBURG
CHAIRPERSON

Join Teams Meeting (view only)
Meeting ID: 210 563 695 322 50
Passcode: y9pC3ho3

ZONING COORDINATION REFERRAL

SCHENECTADY COUNTY DEPT. OF ECONOMIC DEVELOPMENT & PLANNING
Recommendations shall be made within 30 days after receipt of a full statement of the proposed action.

For Use By SCDEDP

Received 12-16-25
Case No. D-29-25
Returned 12-31-25

FROM: Legislative Body
 Zoning Board of Appeals
 Planning Board

Municipality:
Town of Duanesburg

TO: Schenectady County Department of Economic Development and Planning
Schaffer Heights, 107 Nott Terrace, Suite 303
Schenectady, NY 12308

(tel.) 386-2225
(fax) 382-5539

ACTION: Zoning Code/Law Amendment
 Zoning Map Amendment
 Subdivision Review
 Site Plan Review

Special Permit
 Use Variance
 Area Variance
 Other (specify)

Received
Schenectady County

DEC 16 2025

Economic Development
and Planning Dept.

PUBLIC HEARING OR MEETING DATE: TBA

SUBJECT: #25-22 114 North Avenue, Inc: SBL#65.00-1-5 located at 376 Turnbull Rd(R-2) is seeking a special use permit needed to turn a one-family dwelling into a two-family dwelling. Under The Town of Duanesburg Zoning Ordinance section 8.4(8) " dwelling, two family."

REQUIRED ENCLOSURES:

1. Public hearing notice & copy of the application.
2. Map of property affected. (Including Tax Map I.D. number if available)
3. Completed environmental assessment form and all other materials required by the referring body in order to make its determination of significance pursuant to the state environmental quality review act.

1. This zoning case is forwarded to your office for review in compliance with Sections 239-l, 239-m and 239-n of Article 12-B of the General Municipal Law, New York State.
2. This material is sent to you for review and recommendation because the property affected by the proposed action is located within 500 feet of the following:
 - the boundary of any city, village or town;
 - the boundary of any existing or proposed County or State park or other recreation area;
 - the right-of-way of any existing or proposed County or State parkway, thruway, expressway, road or highway;
 - the existing or proposed right-of-way of any stream or drainage channel owned by the County or for which the County has established channel lines;
 - the existing or proposed boundary of any County or State-owned land on which a public building or institution is situated;
 - the boundary of a farm operation located in an agricultural district, as defined by Article 25-AA of the agriculture and markets law. The referral requirement of this subparagraph shall not apply to the granting of area variances.

SUBMITTED BY:

Name: Lindsay Althiser Title: Planning/Zoning/Building Clerk
Address: 5853 Western Turnpike Duanesburg, NY 12056
E-mail: LAlthiser@duanesburg.net Phone: (518) 895-2040


Signature Date: 8/29/2025



PLANNING & ZONING COORDINATION REFERRAL

Case No. D-29-25

Applicant 114 North Avenue, Inc

Referring Officer Lindsay Althiser

Municipality Duanesburg

Considerations: Regarding an existing single family residence, requesting a special use permit to convert the house into a two-family residence. Located on the west side of Turnbull Road approximately 1/4 mile south of Western Turnpike.

RECOMMENDATION

Receipt of zoning referral is acknowledged on December 16, 2025. Please be advised that the undersigned Commissioner of Economic Development and Planning of the County of Schenectady (having under the Schenectady County Charter the powers and duties of a County Planning Board) has reviewed the proposed action stated on the opposite side of this form and makes the following recommendations:

- *Approve of the proposal.
- Defer to local consideration (No significant county-wide or inter-community impact)
- Modify/Conditionally Approve. Conditions:

Advisory Note:

An engineer's evaluation of the wastewater treatment system should be provided to determine whether the system can accommodate a second residence.

Disapprove. Reason:

*A recommendation of approval should not be interpreted that the County has reviewed all local concerns and/or endorses the project; rather the proposed action has met certain County considerations.

Section 239-m of the general Municipal Law requires that within 30 days after final action, the referring body shall file a report of the final action it has taken with the Schenectady County Department of Economic Development and Planning. A referring body which acts contrary to a recommendation of modification or disapproval of a proposed action shall set forth the reasons for the contrary action in such report.

12-19-25
Date

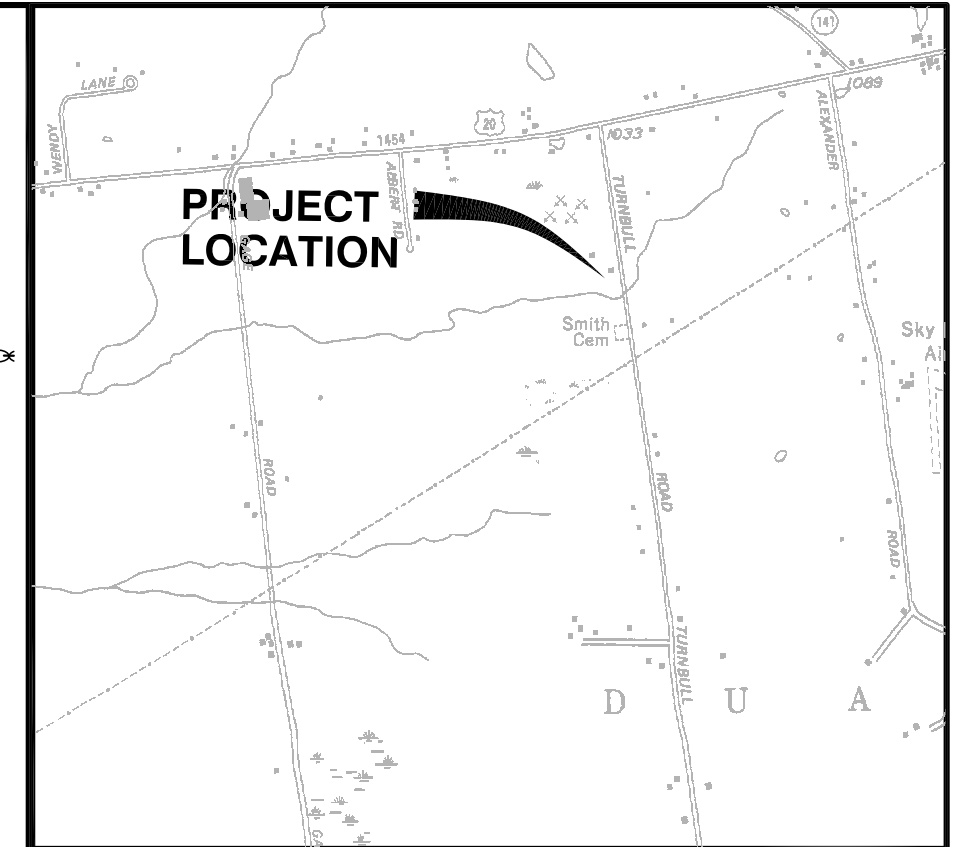
Mark J. Spork
Acting Commissioner
Economic Development and Planning

LANDS N/F OF
THE PASSANO FAMILY TRUST
BK. 2055, PG. 122
SECTION 65.00 BLOCK 1 LOT 1

LANDS N/F OF
NICHOLAS PASSANNO &
VICTORIA PASSANNO, TRUSTEES
BK. 2055, PG. 126
SECTION 65.00 BLOCK 1 LOT 6

LANDS N/F OF
DON EVANS &
REBECCA SZYMCZAK-EVANS
BK. 1861, PG. 211
SECTION 65.00 BLOCK 1 LOT 3.111

AREA: 5.29 ACRES



SITE LOCATION PLAN: 1"=2000'

LEGEND:

- CRF ○ CAPPED IRON ROD FOUND
- CRS ○ CAPPED IRON ROD SET
- IRF ○ IRON ROD FOUND
- IPF ○ IRON PIPE FOUND
- MON □ MONUMENT FOUND
- ELEC. TRANS. □ ELECTRIC TRANSFORMER
- LP □ LIGHT POLE
- WV □ WATER VALVE
- U ○ UTILITY POLE
- HD ○ HYDRANT
- OH — OVERHEAD WIRES
- EM □ ELECTRIC METER
- GM □ GAS METER

TAX PARCEL NUMBER:

TOWN OF DUANESBURG, SCHENECTADY COUNTY, NEW YORK
SEC. 65.00 - BLK. 1 - PARCEL 5

DEED REFERENCES:

- DOUGLAS YAUCHLER TO FRANK J. & LORRAINE M. LASAK, DATED DECEMBER 20, 1977 AND RECORDED IN THE SCHENECTADY COUNTY CLERKS OFFICE IN DEED BOOK 1013 AT PAGE 606.

GENERAL NOTES:

HORIZONTAL DATUM IS NEW YORK STATE PLANE EAST ZONE, ESTABLISHED FROM GPS OBSERVATIONS AT THE TIME OF SURVEY

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.

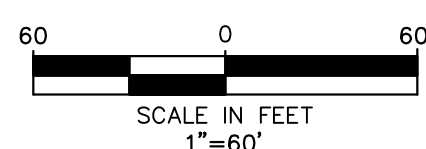
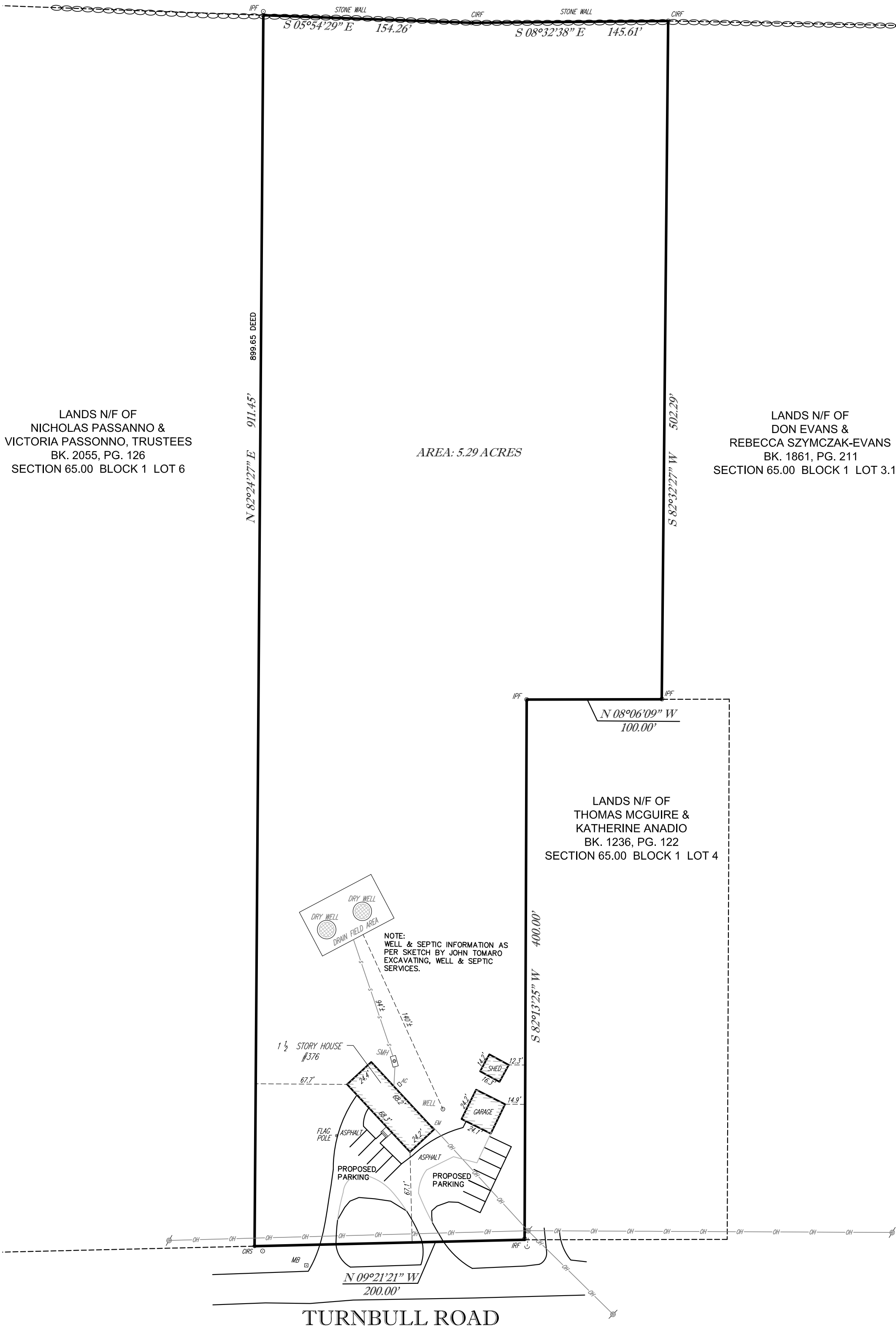
ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S INKED SEAL OR HIS EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

SURVEYED FROM RECORD DESCRIPTION AND AS IN POSSESSION.

SUBJECT TO COVENANTS, EASEMENTS, RESTRICTIONS, CONDITIONS AND AGREEMENTS OF RECORD.

SURVEY SUBJECT TO ANY RIGHT, TITLE OR INTEREST THE PUBLIC MAY HAVE FOR HIGHWAY USE.

SURVEY SHOWN IS SUBJECT TO ANY SUBSURFACE CONDITIONS THAT MAY EXIST, IF ANY.



376 TURNBULL ROAD		
SURVEY MAP OF THE LANDS OF FRANK J. & LORRAINE M. LASAK		
TOWN OF DUANESBURG	SCHENECTADY COUNTY, N.Y.	
SCALE: 1"=60'	JANUARY 2, 2026	
DRAWN BY: JJH	PROJECT NO: 25-4100	VINCENT P. AUSFELD P.L.S. <small>LICENSE #049597</small> www.awslip.com
AUSFELD & WALDRUFF LAND SURVEYORS LLP 323 CLINTON STREET, SCHENECTADY NY PHONE : (518) 346-1595 FAX:(518)770-1655		
2-13-26 WELL & SEPTIC ADDED		

Application for The Planning Board TOWN OF DUANESBURG

5853 Western Turnpike, Duanesburg, NY 12056
Building Department 518-895-2040



Date 11 22 25
MM DD YY

Application # 25-22

Application Type: Major Subdv. Minor Subdv. Special Use Permit Site/ Sketch Plan Review Lot Line Adjust.

Proposal: Convert 1 family to 2 family home.
Section 45.00-1-5 of the _____ Ordinance.

Owner (AS APPEARS ON DEED): Robert Lusik
Address: 376 Turnbull Road, Delanson, NY 12053
Phone: NA Deceased
Applicant's Name (if different): 114 North Avenue, Inc
Location of Property (if different from owners): _____
Zoning District: R-2
Phone: _____ Tax Map #: 65.00-1-5
Signature of Owner(s) if different from Applicant (AS APPEARS ON DEED)
LANDS CONVEYED TO (REQUIRED FOR MERGERS): _____
Signature of receiving Owner(s) if different from Applicant (AS APPEARS ON DEED)
I CERTIFY THAT THE ABOVE INFORMATION IS TRUE AND CORRECT. The Applicant hereby certifies that he/she is the owner of the above property or has duly authorized, in writing, by the owner of record to make this application. Further, by signing this application, the owner gives permission for a representative(s) of the Town of Duanesburg to walk the property for the purposes of conducting a site review.
Date 11/22/25
Signature of Owner(s) and/or Applicant Randy Passano

(For Office Use Only)

ALL APPLICATION FEES ARE NON-REFUNDABLE

Application fee paid: \$ 100.00 CC Cash Check # _____ Date Pd. 12/8/25

Reviewed By: LINDSAY ALTHISER 12/11 25
Date _____ 20____

Approved Unapproved Refer to Code Enforcement Section _____ of the _____ Ordinance.

Planning Commission Comments _____

Planning Chairperson _____ Date _____ 20____ Code Enforcement Officer _____ Date _____ 20____

Agriculture Data Statement

TOWN OF DUANESBURG

5853 Western Turnpike, Duaneburg, NY 12056
Building Department 518-895-2040

Application # 25-22

Date
MM DD YY

Applicant

Name: 114 North Avenue, Inc.
Address: 9423 Western Tpk
Delanson, NY 12053

Owner (if different from Applicant):

Name: Robert Lasik
Address: 376 Turnbull Road
Delanson, NY 12053

1. Application Type: Special Use Permit Site Plan Approval Use Variance Area Variance Subdivision Approval
(check all that apply)

2. Description of proposed project: Convert 1 family to 2-family

3. Address of project: 376 Turnbull Road, Delanson, NY 12053
Tax Map #: 65.00-1-5

4. Is this parcel within an Agriculture District? YES NO (Check with your local assessor if you do not know.)

5. If YES, Agriculture District #: _____

6. Is this parcel actively farmed? YES NO

7. List all farm operations within 500ft of your parcel. Attach additional sheet if necessary

Name: _____
Address: _____
Is this parcel actively farmed? YES NO

Name: _____
Address: _____
Is this parcel actively farmed? YES NO

Name: _____
Address: _____
Is this parcel actively farmed? YES NO

Name: _____
Address: _____
Is this parcel actively farmed? YES NO

Randy Passaro
Signature of Applicant

Signature of Owner (if other than applicant)

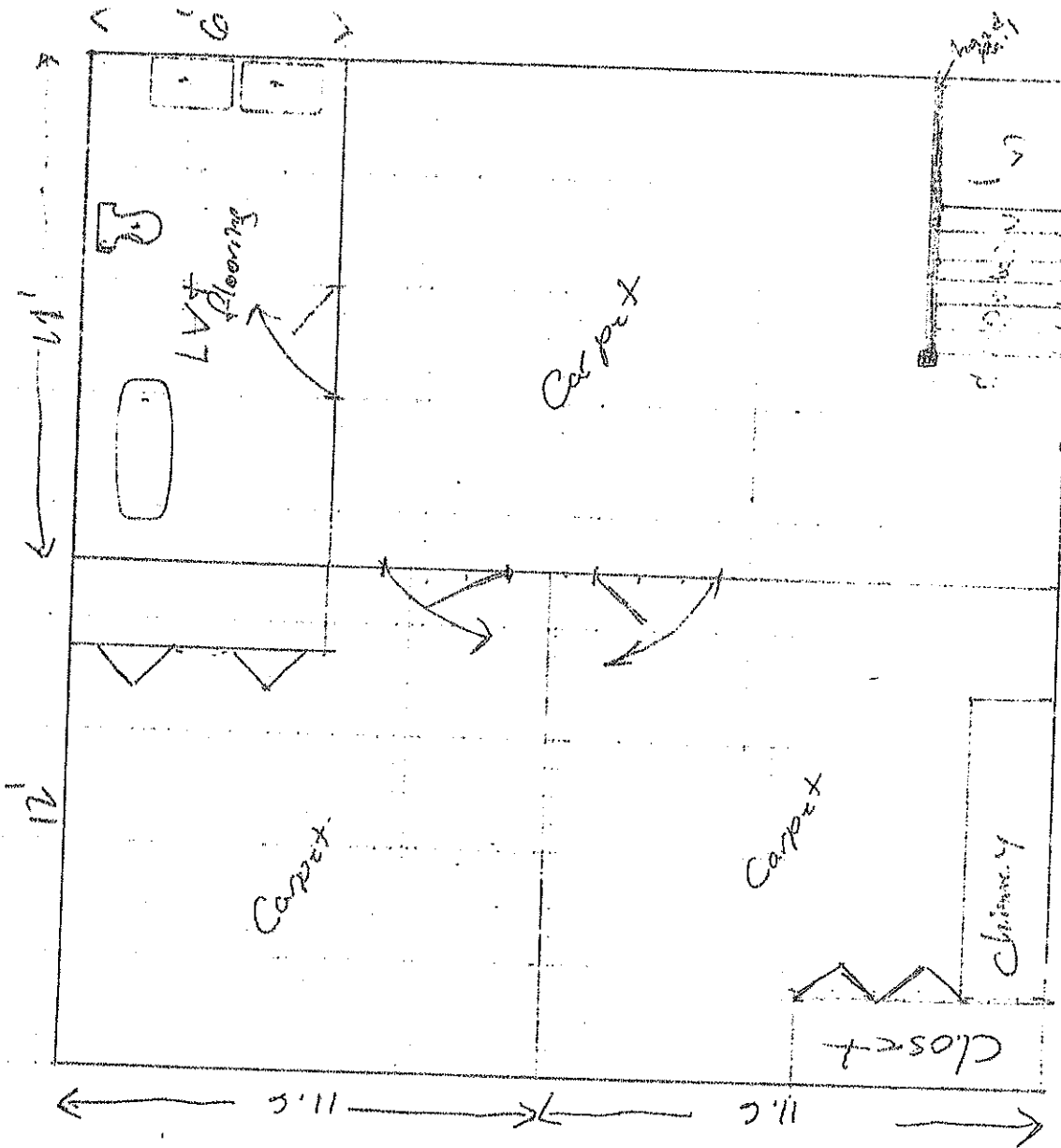
Reviewed by: Christopher Parslow Date 20

Revised 1/14/25

FARM NOTE

Prospective residents should be aware that farm operations may generate dust, odor, smoke, noise, vibration and other conditions that may be objectionable to nearby properties. Local governments shall not unreasonably restrict or regulate farm operations within State Certified Agricultural Districts unless it can be shown that the public health or safety is threatened.

NOTE TO REFERRAL AGENCY: County Planning Board review is required. A copy of the Agriculture Data Statement must be submitted along with the referral to the County Planning Department.

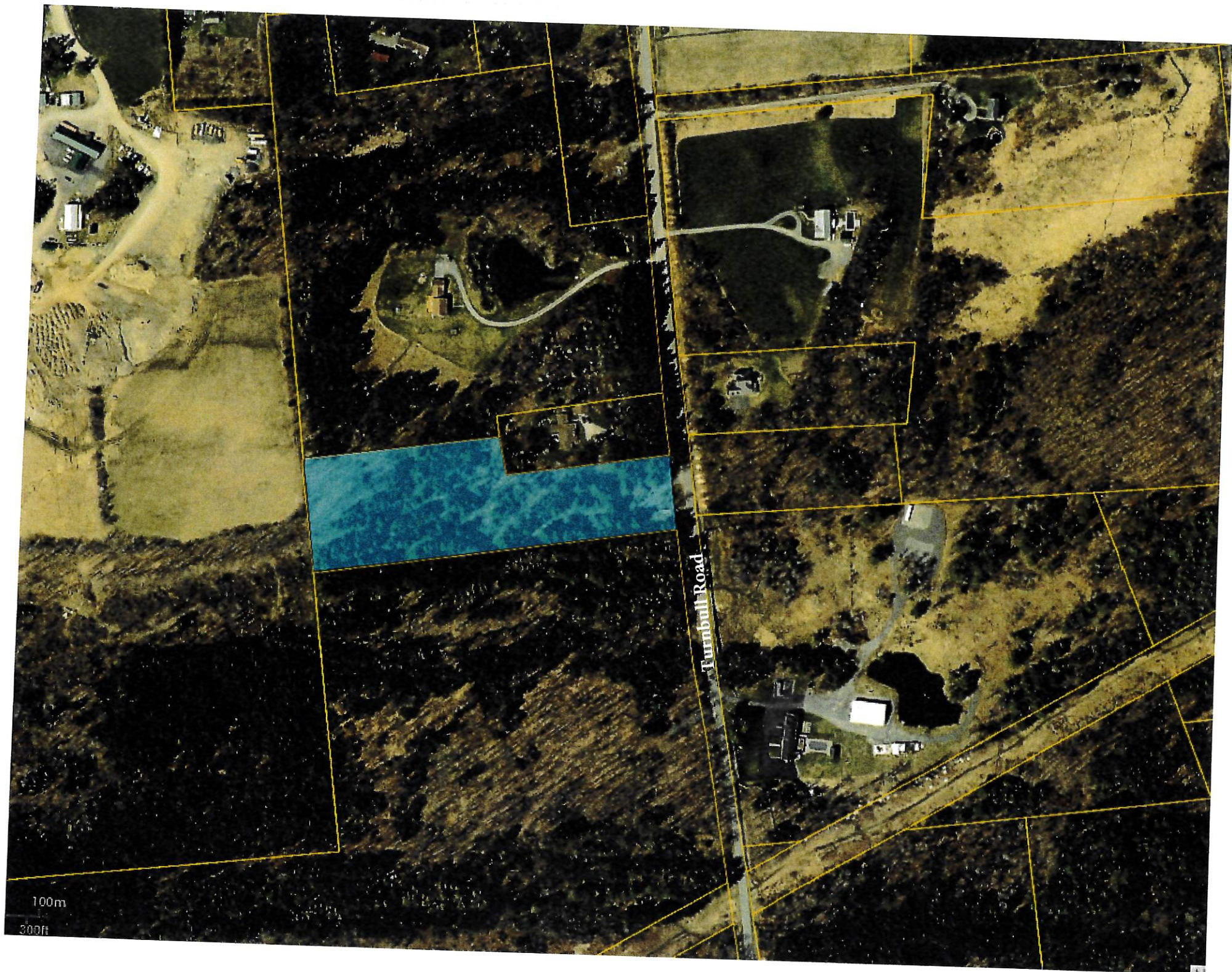


HARDY Const - 10/22
 Crc. #100000 20/22
 11/30/25 2nd floor

379 Fernhill Road
 Delmar, DE 19740

Hardy Construction
 3151 Furbeck Road
 Altamont, N.Y. 12009
 518-605-2946

PROPRIETARY
 HARDY





Additional Parking Near 2-Car Garage

Parking

NOTICE OF DETERMINATION
of the Town of Duaneburg

Date of Determination 12/11/25

Application of 114 North Avenue Inc. under section
8.4 (8) of the (Village of Delanson/ Town of Duaneburg)
Zoning Ordinance.

Applicant 114 NORTH AVENUE INC
Address Duaneburg N.Y.

Phone _____ Zoning District R-2 SBL# 65.00-1-5

Description of
Project: Convert Single Family to 2 Family

Determination:
SPECIAL USE PERMIT REQUIRED

Reason supporting determination:
Town of Duaneburg Zoning Ordinance Adopted 6/11/15
UNDER SECTION 8.4 "USES PERMITTED BY SPECIAL USE PERMIT"
SUB SECTION (8) "DWELLING, TWO FAMILY"

Action: Refer to <u>PLANNING BOARD</u> for the purpose of <u>SPECIAL USE</u>
--

Code Enforcement Officer: Cliff Palow

Jeffrey Schmitt, Planning Board Chair
Chris Parslow, Town Planner
Lindsay Althiser, Planning & Zoning Clerk
Terresa Bakner, Board Attorney



Michael Harris, Vice Chairperson
Elizabeth Novak, Board Member
Matthew Hoffman, Board Member
Michael Walpole, Board Member
Joshua Houghton, Board Member

TOWN OF DUANESBURG
SCHENECTADY COUNTY

NOTICE OF PUBLIC HEARING

LEGAL NOTICE NOTICE OF PUBLIC HEARING PLANNING BOARD TOWN OF DUANESBURG

PLEASE TAKE NOTICE, THAT THE PLANNING BOARD OF THE TOWN OF
DUANESBURG, NEW YORK, WILL MEET AT THE TOWN HALL IN THE TOWN
OF DUANESBURG, 5853 WESTERN TURNPIKE, ON **MARCH 19, 2026 AT
7:00 PM** FOR THE PURPOSE OF HEARING ALL PERSONS INTERESTED IN THE
APPLICATION OF:

#26-03 Smith, Christopher: SBL#75.12-2-9 located at 10086 Duaneburg Rd.(H) is
seeking a sketch plan review needed to open a restaurant. Under The Town of
Duaneburg Zoning Ordinance section 9.3(4) and section 9.3(24) "uses requiring
site plan review"

APPLICATION INFORMATION IS AVAILABLE DURING BUSINESS HOURS

BY ORDER OF THE CHAIRPERSON
PLANNING BOARD
TOWN OF DUANESBURG
CHAIRPERSON

Join Teams Meeting (view only)
Meeting ID: 210 563 695 322 50
Passcode: y9pC3ho3

Application for The Planning Board

TOWN OF DUANESBURG

5853 Western Turnpike, Duaneburg, NY 12056
Building Department 518-895-2040



Date
MM DD YY

Application # 26-03

Application Type: Major Subdv. Minor Subdv. Special Use Permit Site/ Sketch Plan Review Lot Line Adjust.

Proposal: Apply for Tavern, with food, alcohol

Section _____ of the _____ Ordinance.

Owner (AS APPEARS ON DEED): Amanda and Christopher Smith

Address: 141 Warner Lake Rd,
East Berne, NY 12059

Phone: 518-727-917

Applicant's Name (if different): _____

Location of Property (if different from owners): 10086 Duaneburg Rd
Delanson, NY 12053

Zoning District: 03-H

Phone: 518-727-9172

Tax Map #: 75.12-2-9

Signature of Owner(s) if different from Applicant (AS APPEARS ON DEED)

LANDS CONVEYED TO (REQUIRED FOR MERGERS): _____

Signature of receiving Owner(s) if different from Applicant (AS APPEARS ON DEED)

I CERTIFY THAT THE ABOVE INFORMATION IS TRUE AND CORRECT. The Applicant hereby certifies that he/she is the owner of the above property or has duly authorized, in writing, by the owner of record to make this application. Further, by signing this application, the owner gives permission for a representative(s) of the Town of Duaneburg to walk the property for the purposes of conducting a site review.

Date _____

Date _____

Signature of Owner(s) and/or Applicant

(For Office Use Only)

ALL APPLICATION FEES ARE NON-REFUNDABLE

Application fee paid: \$ 100 CC Cash Check # 286 Date Pd. 2/9/26

Reviewed By: Lindsay 2/9 20 26
Date

Approved Unapproved Refer to Code Enforcement Section _____ of the _____ Ordinance.

Planning Commission Comments _____

Planning Chairperson

Date _____ 20 _____

Code Enforcement Officer

Date _____ 20 _____

Agriculture Data Statement

TOWN OF DUANESBURG
5853 Western Turnpike, Duaneburg, NY 12056
Building Department 518-895-2040

Application # 20-03

Date

02	06	2026
MM	DD	YY

Applicant

Name: Amanda and Christopher Smith
Address: 10086 Duaneburg Rd,
Delanson, NY 12053

Owner (if different from Applicant):

Name: _____
Address: 141 Warner lake Rd
East Berne, NY 12059

1. Application Type: Special Use Permit Site Plan Approval Use Variance Area Variance Subdivision Approval
(check all that apply)

2. Description of proposed project: To open as a Tavern, 7 days a week, 11:30am-9pm, Menu attached, keep building the same, replace miss matched windows, move entrance door to gable end of building for snow and water safety.

3. Address of project: 10086 Duaneburg Rd
Delanson, NY 12053 Tax Map #: 75.12-2-9

4. Is this parcel within an Agriculture District? YES NO (Check with your local assessor if you do not know.)

5. If YES, Agriculture District #: _____

6. Is this parcel actively farmed? YES NO

7. List all farm operations within 500ft of your parcel. Attach additional sheet if necessary

Name: _____
Address: _____

Is this parcel actively farmed? YES NO

Name: _____
Address: _____

Is this parcel actively farmed? YES NO

Name: _____
Address: _____

Is this parcel actively farmed? YES NO

Name: _____
Address: _____

Is this parcel actively farmed? YES NO

Signature of Applicant

Signature of Owner (if other than applicant)

Reviewed by: Christopher Parslow Date 20

Revised 1/14/25

FARM NOTE

Prospective residents should be aware that farm operations may generate dust, odor, smoke, noise, vibration and other conditions that may be objectionable to nearby properties. Local governments shall not unreasonably restrict or regulate farm operations within State Certified Agricultural Districts unless it can be shown that the public health or safety is threatened.

NOTE TO REFERRAL AGENCY: County Planning Board review is required. A copy of the Agriculture Data Statement must be submitted along with the referral to the County Planning Department.

Special Use Permit:

Applicate:

Amanda and Christopher Smith

141 warner Lake Rd.

East Berne, NY 12059

Proposed Property:

Quaker Inn

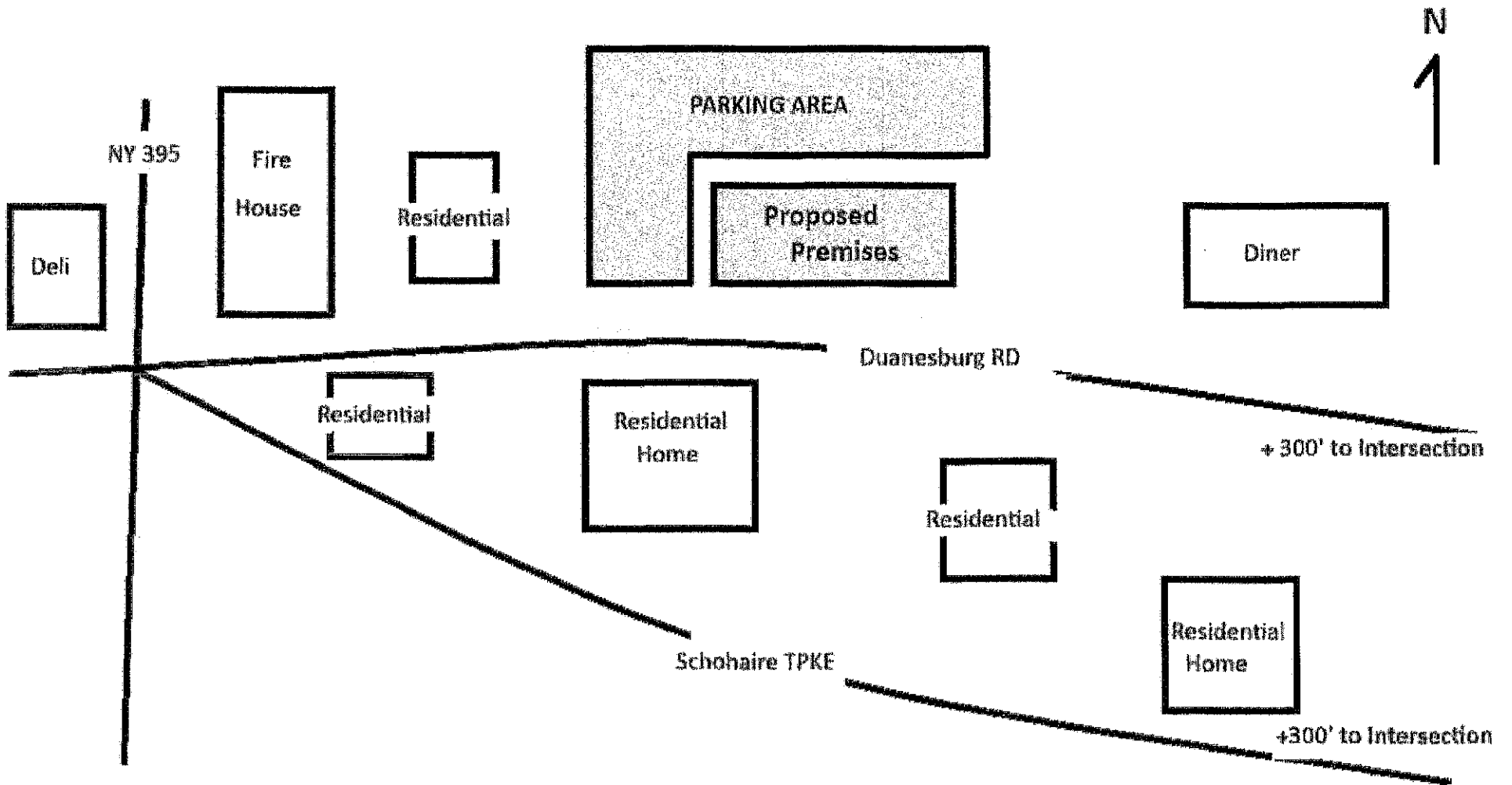
10086 Duanesburg RD

Delanson , NY 12053

Business Plan: We propose to open the Quaker Inn, located at 10086 Duanesburg Rd, Delason NY 12053. My wife (Amanda) and I (Christopher Smith) have 23 years in the Restaurant business, We have opened Maple Inn, Maple on the lake, Sons deli, and Helderberg Mountain Brewery, all which are in business still today. We have over 30 employees, sponsor anywhere from 2-6 little league teams, school booster clubs, local non for profit clubs, and even some for profit clubs.

We would like to open the Quaker Inn as a Tavern. Tavern meaning medium sized menu (burgers, sandwiches and apps), as well as alcohol and soft drinks with a cozy atmosphere. No outdoor dining. The building would stay the same, with exceptions to windows (they don't match) and possible mismatched siding. As far as signage, we were hoping to redo the existing one that has hung there for 15 + years. We propose operating hour to be 7 days a week, 11:30am- 9pm for dinning and the bar room until 10pm. As of now we are looking to employ 10-15 staff member.

Plot Diagram Quaker Inn, Amanda Smith 10086 Duanesburg Rd. Delanson 12053

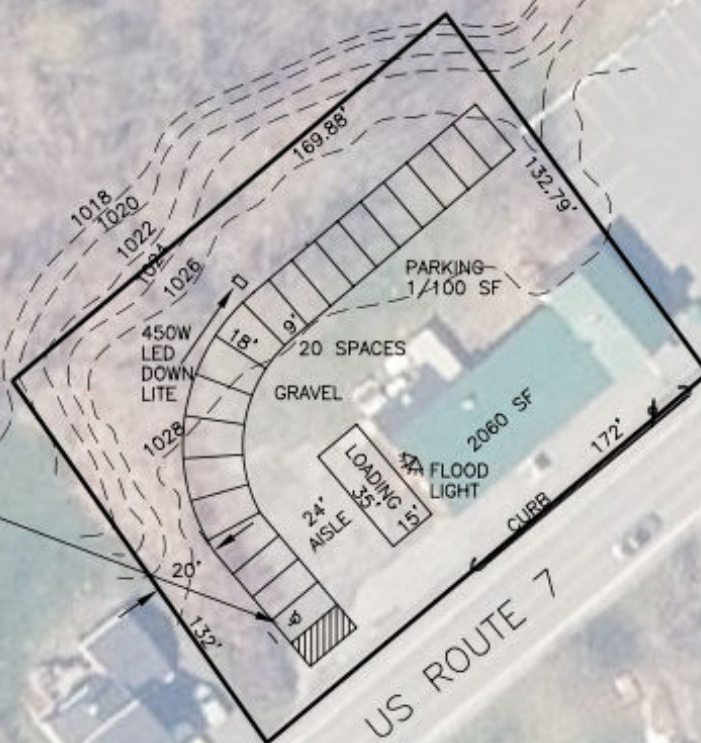




6" HEIGHT

STEEL SIGN POST

HANDICAPPED PARKING SIGNS
INTERNATIONAL SYMBOL OF ACCESSIBILITY
CHARACTERS 5/8"-2" HEIGHT
WIDTH/HEIGHT 3:5 TO 1:1
STROKE WIDTH TO HEIGHT 1:5 TO 1:10



SCALE:
1"=50'
DATE:
FEB 11, 2026

CHRIS SMITH
FORMER QUAKER INN
RT 7, QUAKER STREET
Tax I.D. #75.12-2-9

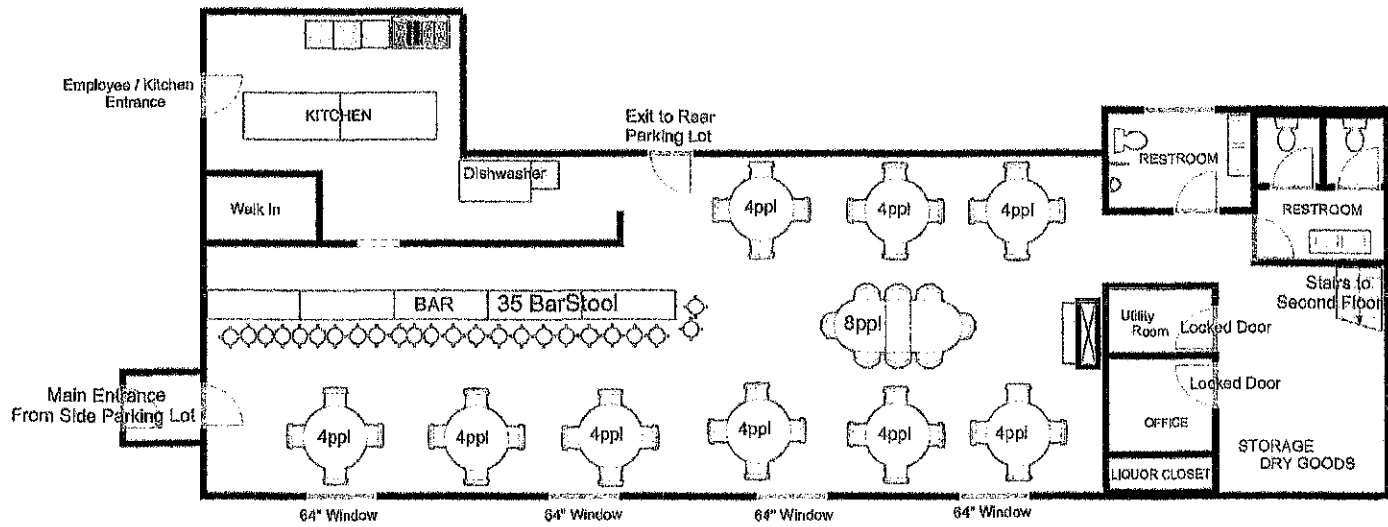
DRAWING
A-1

SITE PLAN

L M Associates

Consulting Engineering
P.O. Box 111 Duanesburg, N.Y. 12056
(518) 875-6765

*All Exterior Doors
Locked with Dead Bolt



122'0 64"

NOTICE OF DETERMINATION
of the Town of Duaneburg

Date of Determination 2/10/26

Application of AMANDA + CHRISTOPHER SMITH under section
9.3(4) + 9.3(24) of the (Village of Delanson/Town of Duaneburg)
ZONING Ordinance.

Applicant AMANDA + CHRIS SMITH
Address 141 WARNER LAKE RD
EAST BERNE NY 12059

Phone 518-727-9172 Zoning District H SBL# 75.12-2-9

Description of
Project: BAR RESTAURANT RE OPENING OF PROPERTY

Determination:
SITE PLAN REVIEW

Reason supporting determination:
TOWN OF DUANEBURG ZONING ORDINANCE ADOPTED 6/11/15
UNDER SECTION 9.3(4) AND 9.3(24) "USES REQUIRING SITE
PLAN REVIEW

Action: Refer to <u>PLANNING BOARD</u> for the purpose of <u>SITE PLAN REVIEW</u>

Code Enforcement Officer: Christy Palow

Application for The Planning Board TOWN OF DUANESBURG

5853 Western Turnpike, Duaneburg, NY 12056
Building Department 518-895-2040



Date
MM DD YY

Application #

Application Type: Major Subdv. Minor Subdv. Special Use Permit Site/ Sketch Plan Review Lot Line Adjust.

Proposal: LOT LINE ADJUSTMENT IN WHICH APPROXIMATELY 3.43 ACRES
IS REALLOCATED FROM L1375.P100 53.00-1-9.8 TO
L1649, P368 #53.00-1-9.512 Section _____ of the _____ Ordinance.

Owner (AS APPEARS ON DEED): JONATHAN H. DEFOREST
Address: 1236 MCGUIRE SCHOOL ROAD, DEANSON N.Y. 12053
Phone: 518-857-1246

Applicant's Name (if different): SAME
Location of Property (if different from owners): SAME

Phone: 518-857-1246 Tax Map #: 53.00-1-9.81 / 53.00-1-9.512 Zoning District: R-2

Signature of Owner(s) if different from Applicant (AS APPEARS ON DEED)

LANDS CONVEYED TO (REQUIRED FOR MERGERS): _____
Signature of receiving Owner(s) if different from Applicant (AS APPEARS ON DEED)

I CERTIFY THAT THE ABOVE INFORMATION IS TRUE AND CORRECT. The Applicant hereby certifies that he/she is the owner of the above property or has duly authorized, in writing, by the owner of record to make this application. Further, by signing this application, the owner gives permission for a representative(s) of the Town of Duaneburg to walk the property for the purposes of conducting a site review.

Date _____ Signature of Owner(s) and/or Applicant Date 3/2/2

(For Office Use Only)

ALL APPLICATION FEES ARE NON-REFUNDABLE

Application fee paid: \$ 100. CC Cash Check # 4448 Date Pd. 3-6-26

Reviewed By: Date 3-6-26

Approved Unapproved Refer to Code Enforcement Section _____ of the _____ Ordinance.

Planning Commission Comments _____

NOTICE OF DETERMINATION
of the Town of Duaneburg

Date of Determination 3/6/26

Application of JONATHAN DEFOREST under section
SECTION 4 of LOCAL of the (Village of Delanson/ Town of Duaneburg)
LAW 2 of 2016 Ordinance.

Applicant JONATHAN DEFOREST
Address 1236 MCGUIRE SCHOOL RD
DELANSON

Phone 518-857-1246 Zoning District R-2 SBL# 53.00 -1 - 9.81
53.00 -1 - 9.512

Description of
Project: LOT LINE ADJUSTMENT

Determination:
LOT LINE ADJUSTMENT APPROVAL

Reason supporting determination:
TOWN OF DUANEBURG LOCAL LAW #2 OF 2016
"LOT LINE ADJUSTMENT"

Action: Refer to PLANNING BOARD for the purpose of LOT LINE ADJUSTMENT

Code Enforcement Officer: Christy Pales

ZONING:

RESIDENTIAL (R2)

LOT SIZE: 100,000 SF MIN.
LOT WIDTH: 200' MIN.
LOT DEPTH: 200' MIN.
LOT COVERAGE: 25% MAX.

SETBACKS

FRONT: 80'
SIDE: 40'
REAR: 80'

BUILDING HEIGHT: 2-1/2 STORIES (35') MAX.
BUILDING SIZE: 40,000 SF MAX.



SITE LOCATION MAP
N.T.S.

SURVEYORS NOTES:

1. PREPARED BY ABD ENGINEERS, LLP, FROM A FIELD SURVEY COMPLETED ON MAY 9, 2022.
2. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN UP TO DATE ABSTRACT OF TITLE OR TITLE REPORT AND IS SUBJECT TO ANY STATEMENT OF FACT THAT SUCH ABSTRACT OF TITLE OR TITLE REPORT MAY REVEAL. NO SEARCH OF THE PUBLIC RECORD WAS MADE FOR EASEMENTS, COVENANTS, AND/OR RESTRICTIONS SPECIFICALLY AFFECTING THIS PARCEL.
3. UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS ARE SHOWN FROM FIELD LOCATIONS (IF POSSIBLE) AND OTHERS ARE SHOWN FROM RECORD DATA. THEIR EXACT LOCATION MAY BE DIFFERENT FROM THAT SHOWN AND OTHER HIDDEN UNDERGROUND IMPROVEMENTS MAY EXIST. NO CERTIFICATION IS MADE TO THE ACCURACIES OF UNDERGROUND LOCATIONS. CALL DIG SAFE NEW YORK BY DIALING 811 PRIOR TO ANY EXCAVATING, BLASTING, DRILLING, OR DRIVING.
4. CORNER MARKERS HAVE NOT BEEN SET UNLESS OTHERWISE INDICATED HEREON.
5. PROPERTY IS LOCATED IN THE DELANSON FIRE DISTRICT AND DUANESBURG SCHOOL DISTRICT.
6. ALL PROPERTIES SHOWN HEREON ARE ZONED R-2.
7. TOPOGRAPHIC INFORMATION SHOWN HEREON COMPILED FROM AVAILABLE SCHENECTADY COUNTY LIDAR DATA.
8. THERE ARE NO EASEMENTS WITHIN THE PORTION OF LANDS THAT ARE PART OF THE LOT LINE AMENDMENT.

MAP REFERENCES:

1. "FINAL PLAN SUBDIVISION OF LANDS N/F JONATHAN DEFOREST LIBER 1375, PAGE 100 AND WILLIAM A. & CAROL L. DEFOREST LIBER 1594, PAGE 602", PREPARED BY MICHAEL J. DAVIS, L.S., DATED JUNE 2012.
2. "MAP OF A PORTION OF THE LANDS OF LAUDLIN L. TERPENING TO BE CONVEYED TO JONATHAN DEFOREST", AS PREPARED BY O'CONNOR & O'CONNOR LAND SURVEYORS P.C. AND DATED JANUARY 23, 1993.

SITE NOTES:

1. ALL PROPERTIES ARE ZONED R-2.
2. THERE ARE NO KNOWN EASEMENTS IN THE PORTION OF LANDS THAT ARE PART OF THIS LOT LINE ADJUSTMENT.



UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS SURVEY MAP IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW. OFFICE OF THE SURVEYOR HAS NOT REVIEWED THE LAND SURVEYORS ENGINEER'S SEAL. SEAL SHALL NOT BE CONSIDERED TO BE VALID COPIES.		<p align="center">LOT LINE AMENDMENT</p> <p align="center">LANDS N/F OF JONATHAN H. DEFOREST McGUIRE SCHOOL ROAD</p> <p>TOWN OF DUANESBURG COUNTY OF SCHENECTADY</p> <p align="center">STATE OF NEW YORK</p> <p align="center">ABD ENGINEERS SURVEYORS</p> <p>411 Union Street Schenectady, N.Y. 12305 518-377-0315 Fax: 518-377-0379 www.abdeng.com</p>				
NO.	DATE			DATE	SCALE:	DWG.
1	MARCH 2, 2026		1" = 100'	801A-P26	1	1



PROPOSED NEW LOT CONSTRUCTION.
PROPOSED.

Application for The Planning Board TOWN OF DUANESBURG

5853 Western Turnpike, Duaneburg, NY 12056
Building Department 518-895-2040



Date 03 02 2026
MM DD YY

Application # 26-06

Application Type: Major Subdv. Minor Subdv. Special Use Permit Site/ Sketch Plan Review Lot Line Adjust.

Proposal: _____

VARIANCE GRANTED 3/19/1991 Section _____ of the _____ Ordinance.

Owner (AS APPEARS ON DEED): PAUL M CALLAHAN + CATHERINE M CALLAHAN

Address: 2045 SKYLINE DRIVE SCHEMECTADY NY 12306

Phone: 895 2334

Applicant's Name (if different): _____

Location of Property (if different from owners): WEST DUANE LAKE ROAD L-2

Zoning District: L-2

Phone: _____ Tax Map #: 67-2-11.41

Signature of Owner(s) if different from Applicant (AS APPEARS ON DEED)

LANDS CONVEYED TO (REQUIRED FOR MERGERS): _____

Signature of receiving Owner(s) if different from Applicant (AS APPEARS ON DEED)

I CERTIFY THAT THE ABOVE INFORMATION IS TRUE AND CORRECT. The Applicant hereby certifies that he/she is the owner of the above property or has duly authorized, in writing, by the owner of record to make this application. Further, by signing this application, the owner gives permission for a representative(s) of the Town of Duaneburg to walk the property for the purposes of conducting a site review.

Paul M Callahan Date 3/4/26 Date _____
Signature of Owner(s) and/or Applicant

(For Office Use Only)

ALL APPLICATION FEES ARE NON-REFUNDABLE

Application fee paid: \$ 150 CC Cash Check # 291 Date Pd. 3-9-26

Reviewed By: [Signature] Date 3-9 20 26

Approved Unapproved Refer to Code Enforcement Section _____ of the _____ Ordinance.

Planning Commission Comments _____

Planning Chairperson _____ Date _____ 20 _____

Code Enforcement Officer _____ Date _____ 20 _____

Agriculture Data Statement

TOWN OF DUANESBURG
 5853 Western Turnpike, Duaneburg, NY 12056
 Building Department 518-895-2040

Application # 20-06
 Date 3 9 20
MM DD YY

Applicant

Name: Paul Callahan
 Address: 2045 Skyline Drive

Owner (if different from Applicant):

Name: _____
 Address: _____

1. Application Type: Special Use Permit Site Plan Approval Use Variance Area Variance Subdivision Approval
(check all that apply)

2. Description of proposed project: turn 1 lot into 2

3. Address of project: 646 W. Duane Lake Rd Tax Map #: 67.00-2-11.4

4. Is this parcel within an Agriculture District? YES NO (Check with your local assessor if you do not know.)

5. If YES, Agriculture District #: _____

6. Is this parcel actively farmed? YES NO

7. List all farm operations within 500ft of your parcel. Attach additional sheet if necessary

Name: Putnam
 Address: 67.00-3-13.111

Is this parcel actively farmed? YES NO

Name: _____
 Address: _____

Is this parcel actively farmed? YES NO

Name: _____
 Address: _____

Is this parcel actively farmed? YES NO

Name: _____
 Address: _____

Is this parcel actively farmed? YES NO

Paul Callahan
 Signature of Applicant

 Signature of Owner (if other than applicant)

Reviewed by: Christopher Parslow Date 20 _____

Revised 1/14/25

FARM NOTE

Prospective residents should be aware that farm operations may generate dust, odor, smoke, noise, vibration and other conditions that may be objectionable to nearby properties. Local governments shall not unreasonably restrict or regulate farm operations within State Certified Agricultural Districts unless it can be shown that the public health or safety is threatened.

NOTE TO REFERRAL AGENCY: County Planning Board review is required. A copy of the Agricultural Data Statement must be submitted along with the referral to the County Planning Department.

NOTICE OF DETERMINATION
of the Town of Duaneburg

Date of Determination 3/6/26

Application of PAUL + CATHERINE CALLAHAN under section
3.4 of the (Village of Delanson/Town of Duaneburg)
SUBDIVISION Ordinance.

Applicant PAUL + CATHERINE CALLAHAN
Address 2045 SKYLINE DR.
SCHEMENETT NY

Phone 518-895-2334 Zoning District R-2 SBL# 67.00-2-11.41

Description of
Project: SPLIT ONE LOT IN TWO

Determination:
MINOR SUBDIVISION NEEDED

Reason supporting determination:
Town of Duaneburg SUBDIVISION ORDINANCE ADOPTED 3/9/95
UNDER SECTION 3.4 "MINOR SUBDIVISION APPROVAL"

Action: Refer to PLANNING BOARD for the purpose of MINOR SUBDIVISION

Code Enforcement Officer: Christy Paker

LANDS OF GNIDOWSKI (b. 1080, p. 54)
R.P.T.S.A. 67.00-2-II.121

LANDS OF PUTNAM
(b. 1248, p. 95)
(b. 1252, p. 315)
R.P.T.S.A. 67.00-2-6.11

LANDS OF REUTTER
(b. 1255, p. 27 & 29)
(b. 1389, p. 342)
R.P.T.S.A. 67.00-2-10 & 11.122

LANDS OF SANTORO
(b. 1347, p. 321)
R.P.T.S.A. 67.00-2-9

LANDS OF CALLAHAN
(b. 1080, p. 52)
R.P.T.S.A. 67.00-2-II.4

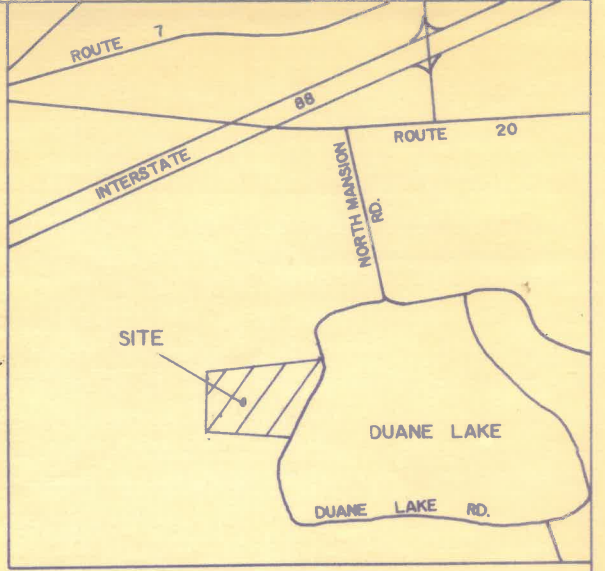
LANDS OF BRATT
(b. 1175, p. 202)
R.P.T.S.A. 67.00-2-8

AREA - 871,200 sq. ft.
or
20.00 acres

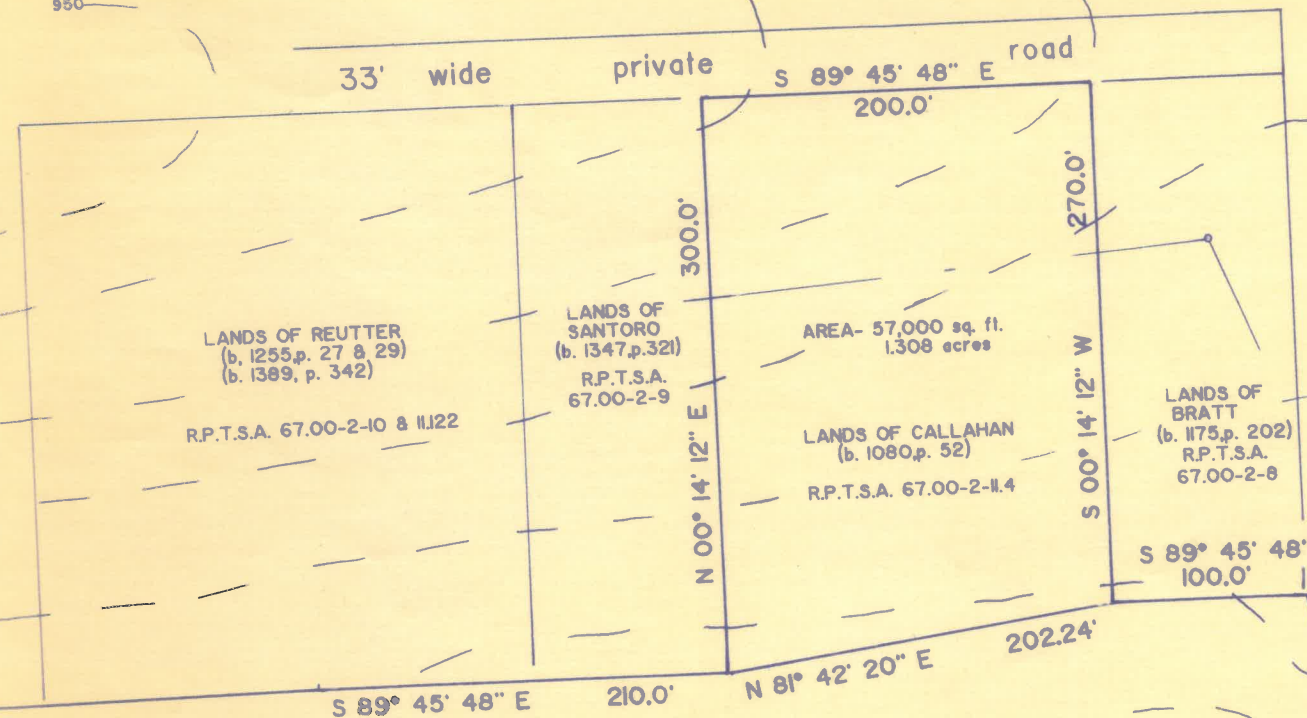
LANDS OF FLORES
(b. 1312, p. 135)
map ref. 1

AREA - 217,800 sq. ft.
or
5.00 acres

AREA - 57,000 sq. ft.
1.308 acres



SITE LOCATION MAP



ROAD

LAKE

LEGEND

- 900 — — — — — EXISTING CONTOUR
- 900.0 EXISTING ELEVATION

NOTES

378.98'

S 87° 42' 20" E 451.50'

S 44° 53' 20" E 275.42'

S 41° 38' 40" W

S 89° 45' 48" E 100.0'

S 13° 45' 05" E 58.99'

S 05° 15' 40" W 50.0'

S 19° 13' 30" W 46.63'

S 36° 51' 20" W 45.83'

1,095.08'

S 89° 45' 48" E 210.0'

N 81° 42' 20" E 202.24'

S 89° 45' 48" E 200.0'

S 00° 14' 12" W 270.0'

N 00° 14' 12" E 300.0'

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36.14'

o.h. utilities

dir. cty.

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LANDS OF GNIDOWSKI (b. 1000, p. 82)
R.P.T.S.A. 67.00-1-8

N 09° 10' 40" E

S 87° 42' 20" E 451.50'

N 02° 17' 40" E 378.98'

AREA - 217,800 sq. ft.
or
5.00 acres

LANDS OF FLORES
(b. 1423, p. 82)
map ref. 1

N 84° 28' 30" W 625.27'

1,078.17' 452.90'

S 44° 53' 20" E 275.42'

296.26'

332.40'

S 45° 06' 40" W

DUANE

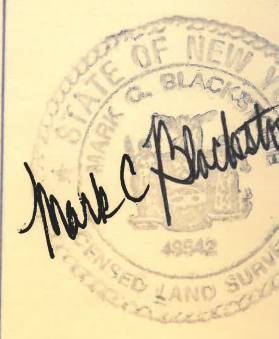
LANDS OF CALLAHAN (b. 1000, p. 52)
R.P.T.S.A. 67.00-2-11.4

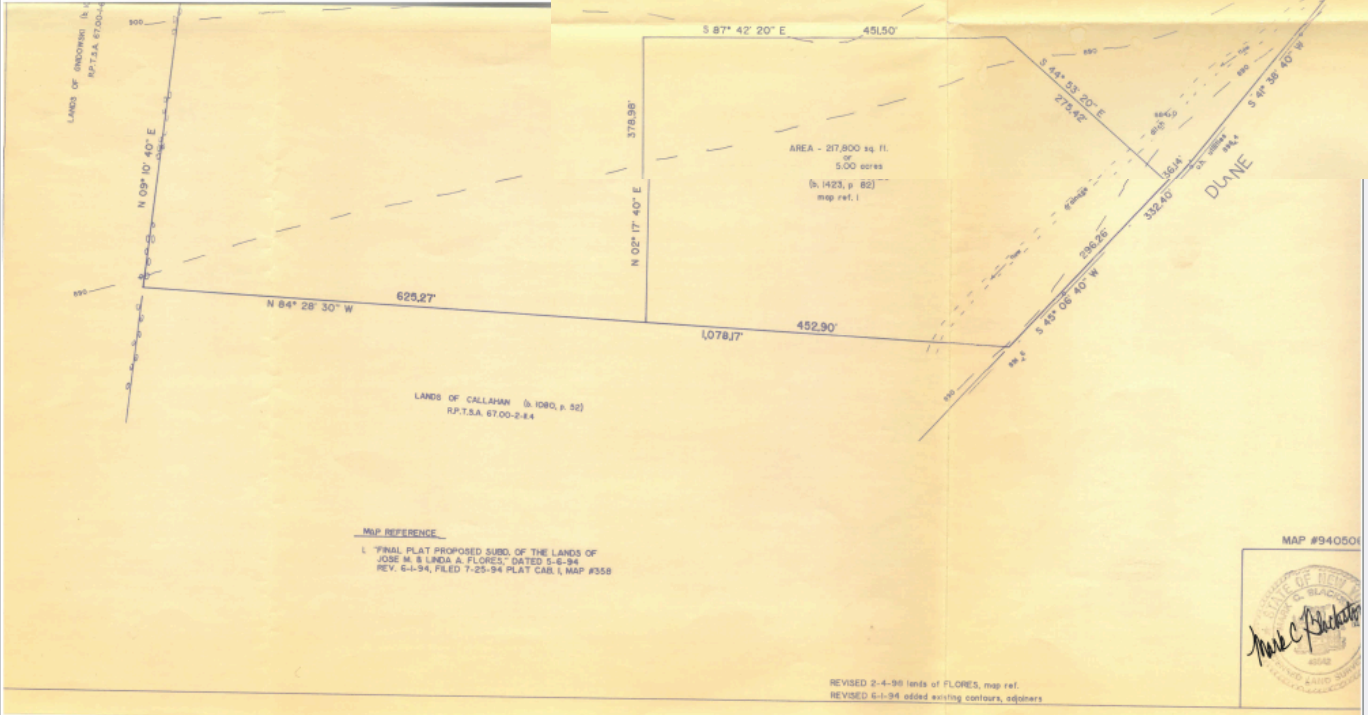
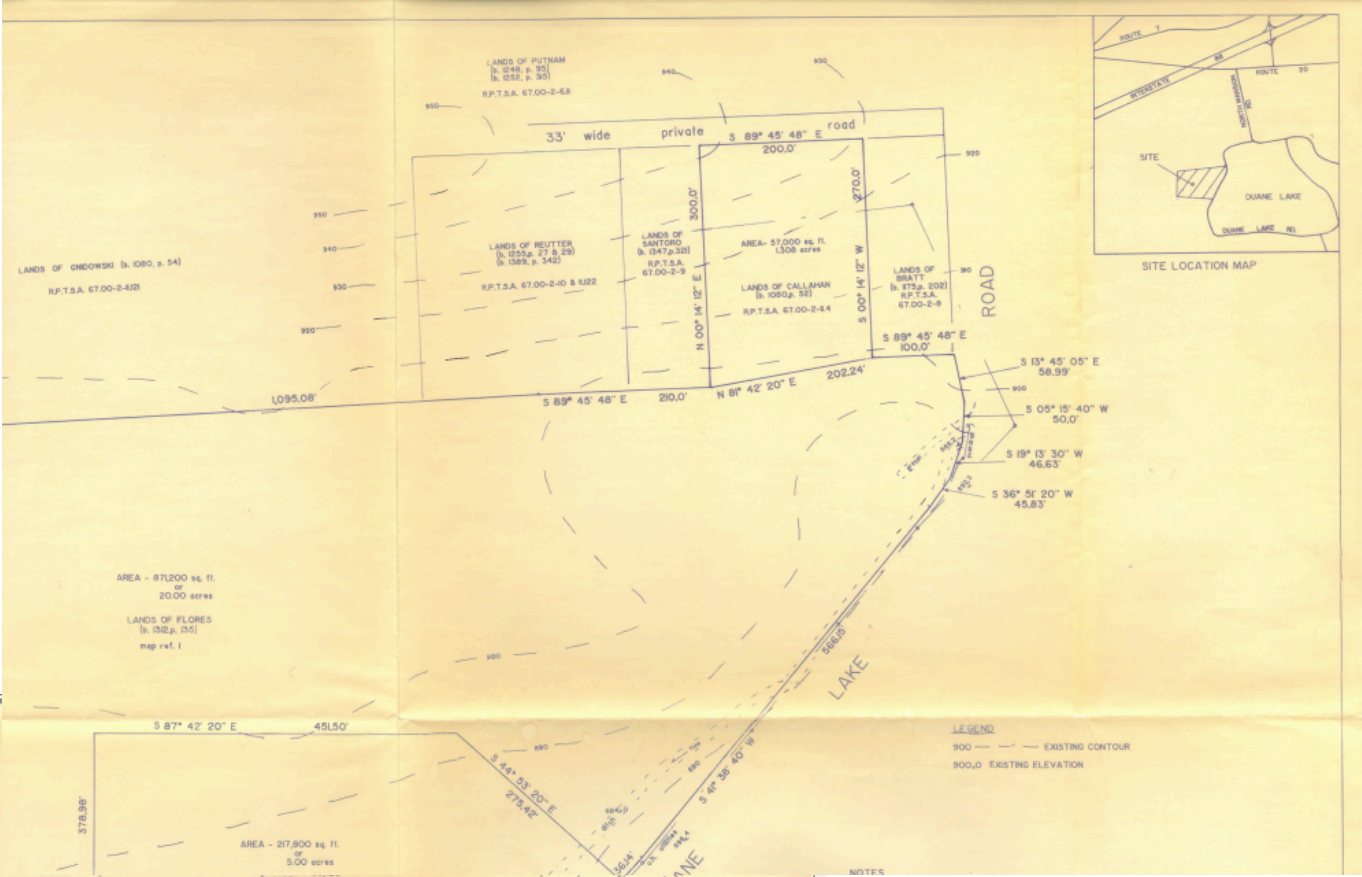
MAP REFERENCE

1 "FINAL PLAT PROPOSED SUBD. OF THE LANDS OF
JOSE M. & LINDA A. FLORES," DATED 5-6-94
REV. 6-1-94, FILED 7-25-94 PLAT CAB. I, MAP #358

REVISED 2-4-98 lands of FLORES, map ref.
REVISED 6-1-94 added existing contours, adjoiners

MAP #940506





LEGEND
 900 ——— EXISTING CONTOUR
 900.0 EXISTING ELEVATION

NOTES



Town of Duanesburg

SCHENECTADY COUNTY



Building Inspector
Dale Warner

September 19, 2007

Paul M. Callahan
4886 Western Turnpike
P.O. Box 100
Duanesburg, NY 12056-0100

Re: SBL# 67.00-2-11.4, Duane Lake Rd.

Dear Mr. Callahan,

I have spoken with the boards and reviewed the circumstances concerning this lot. Although you received approval for this sub-division in April 1994 no plat was filed at Schenectady County. The Subdivision Ordinance at that time (1978 Subdivision Ordinance) required the plat to be filed and recorded with the County Clerk within thirty days (30) or it shall become null and void.

However, the area variance is still in effect as a variance goes with the property. You will need to apply for a new minor subdivision. Sketch plan review is required prior to an application being submitted. You will need to submit 12 copies of your sketch plan 10 days prior to the next meeting date of October 18, 2007 to be placed on the agenda.

Sincerely,

Dale R. Warner
Building Inspector/
Code Enforcement Officer
Cc: File
Todd Mathes, Town Attorney
Pat Wall, Zoning Board Chairperson
Sandra Scott, Planning Board Chairperson

SPECIAL USE PERMIT APPLICATION
TOWN OF DUANESBURG

Case No.	_____
Date Rec.	_____
Fee Paid	_____
Date Advertised	_____
Ref. P.D.	_____ Date _____
Ref. County	_____ Date _____
Date: Hearing	_____
Date: Decision	_____
Decision	_____

1. Applicant Name Paul M. Callahan

2. Address - P.O. Box 100.
Duanesburg, N.Y. 12056 Phone No. 895-2334

3. Owner of Property Paul M. Callahan & Catherine M. Callahan
Address of Property Duane Lake Road
Location of Property Private Lane off Duane Lake Road

4. Zoning District R-100 Tax Map Number 67-2-11.3

5. Area Variance(s) Requested

Section of Zoning Ordinance	Description	Area Required	Area Requested
<u>6.3(1)</u>	<u>Minimum Lot Area</u>	<u>100,000 s.f.</u>	<u>57,000 s.f.</u>

6. Use Variance Requested

Proposed Use:

7. The practical difficulties (and unnecessary hardships) in carrying out the provisions of the zoning ordinance are as follows: (See Sect 13.3.2)
Lots in immediate area are approximately half the size of this
proposed lot: Bratt 27,000 s.f., Sherwin 30,000 s.f. and Reutter
33,000 s.f. Lot area of 200x300 (approx) can contain house, well
and septic system. Land behind lot is wet area (not wetlands) and totally useless or functional for residential purposes. Making lot 100,000 s.q. would incur extra survey cost, uneven lot lines and extra land which would not be used with lot.

BLACKSTONE LAND SURVEYORS

1152 FORT HUNTER ROAD
SCHENECTADY, NEW YORK 12303
(518) 355-1791

Proposed Parcel Description, Portion of the lands of Callahan,
1.308 acres on private road off of Duane Lake Road

ALL THAT TRACT, PIECE, OR PARCEL OF LAND, situate, lying, and being in the Town of Duanesburg, County of Schenectady, and State of New York, being along the southerly side of a private road which runs westerly off of Duane Lake Road, and more particularly bounded and described as follows:

BEGINNING at a point on the southerly side of a private road, said point being 100.0 feet westerly of the westerly side of Duane Lake Road, being the northwest corner of the lands of Bratt, as described in Book 1175 of Deeds at Page 202;

THENCE South 00° 14' 12" West a distance of 270.0 feet along the westerly bounds of Bratt, to a point;

THENCE South 81° 42' 20" West a distance of 202.24 feet along the northerly bounds of the lands of Flores, as described in Book 1312 of Deeds at Page 135, to a point;

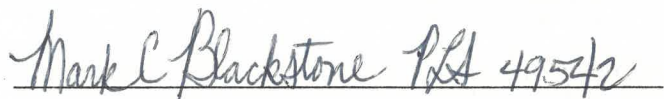
THENCE North 00° 14' 12" East a distance of 300.0 feet along the easterly bounds of the lands of Sherwin, as described in Book 1250 of Deeds at Page 283, to a point on the southerly side of the private road;

THENCE South 89° 45' 48" East a distance of 200.0 feet along the southerly side of the private road, to a point, being the point or place of beginning.

CONTAINS 57,000 square feet OR 1.308 acres.

TOGETHER with the right of ingress and egress together with any others who may have such right, over a private road which runs westerly from Duane Lake Road past the premises herein conveyed.

November 8, 1991


Mark C. Blackstone, P.L.S. # 49542

PROJECT I.D. NUMBER

617.21

Appendix C

State Environmental Quality Review

SHORT ENVIRONMENTAL ASSESSMENT FORM

For UNLISTED ACTIONS Only

PART I—PROJECT INFORMATION (To be completed by Applicant or Project sponsor)

<p>1. APPLICANT /SPONSOR Paul M. & Catherine M. Callahan</p>	<p>2. PROJECT NAME Same as 1</p>
<p>3. PROJECT LOCATION: Municipality <u>Duanesburg</u> County <u>Schenectady</u></p>	
<p>4. PRECISE LOCATION (Street address and road intersections, prominent landmarks, etc., or provide map) <u>Duane Lake Road, near intersection of private lane.</u></p>	
<p>5. IS PROPOSED ACTION: <input checked="" type="checkbox"/> New <input type="checkbox"/> Expansion <input type="checkbox"/> Modification/al'eration</p>	
<p>6. DESCRIBE PROJECT BRIEFLY: <u>Seeking approval from Town of Duanesburg Planning Board for subdivision of described lot for construction of one family residence.</u></p>	
<p>7. AMOUNT OF LAND AFFECTED: Initially <u>1.308</u> acres Ultimately <u>1.308</u> acres</p>	
<p>8. WILL PROPOSED ACTION COMPLY WITH EXISTING ZONING OR OTHER EXISTING LAND USE RESTRICTIONS? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If No, describe briefly</p>	
<p>9. WHAT IS PRESENT LAND USE IN VICINITY OF PROJECT? <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Agriculture <input type="checkbox"/> Park/Forest/Open space <input type="checkbox"/> Other Describe: <u>Numerous one family homes in area</u></p>	
<p>10. DOES ACTION INVOLVE A PERMIT APPROVAL, OR FUNDING, NOW OR ULTIMATELY FROM ANY OTHER GOVERNMENTAL AGENCY (FEDERAL, STATE OR LOCAL)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list agency(s) and permit/approvals</p>	
<p>11. DOES ANY ASPECT OF THE ACTION HAVE A CURRENTLY VALID PERMIT OR APPROVAL? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list agency name and permit/approval</p>	
<p>12. AS A RESULT OF PROPOSED ACTION WILL EXISTING PERMIT/APPROVAL REQUIRE MODIFICATION? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	
<p>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE TO THE BEST OF MY KNOWLEDGE</p>	
<p>Applicant/sponsor name: <u>Paul M. Callahan</u></p>	<p>Date: <u>May 24, 1994</u></p>
<p>Signature: <u><i>Paul M. Callahan</i></u></p>	

If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment

Application for The Planning Board

TOWN OF DUANESBURG

5853 Western Turnpike, Duanesburg, NY 12056
Building Department 518-895-2040



Date
MM DD YY

Application #

Application Type: Major Subdv. Minor Subdv. Special Use Permit Site/ Sketch Plan Review Lot Line Adjust.

Proposal: - 2 Lot Subdivision & Boundary Line Adjustment

_____ Section _____ of the _____ Ordinance.

Owner (AS APPEARS ON DEED): Karen I. Hawes Irrevocable Trust

Address: 1053 Herrick Road, Delanson, NY 12053

Phone: _____

Applicant's Name (if different): _____

Location of Property (if different from owners): _____

Zoning District: R-2

Phone: _____ Tax Map #: 43.-2-20

Signature of Owner(s) if different from Applicant (AS APPEARS ON DEED)

LANDS CONVEYED TO (REQUIRED FOR MERGERS):

Signature of receiving Owner(s) if different from Applicant (AS APPEARS ON DEED)

I CERTIFY THAT THE ABOVE INFORMATION IS TRUE AND CORRECT. The Applicant hereby certifies that he/she is the owner of the above property or has duly authorized, in writing, by the owner of record to make this application. Further, by signing this application, the owner gives permission for a representative(s) of the Town of Duanesburg to walk the property for the purposes of conducting a site review.

_____ Date _____ Date _____
Signature of Owner(s) and/or Applicant

(For Office Use Only)

ALL APPLICATION FEES ARE NON-REFUNDABLE

Application fee paid: \$ 750.00 CC Cash Check # 4950 Date Pd. 3/9/26

Reviewed By: LA _____ 3-9 20 26 _____
Date

Approved Unapproved Refer to Code Enforcement Section _____ of the _____ Ordinance.

Planning Commission Comments _____

_____ Date _____ 20 _____ Code Enforcement Officer _____ Date _____ 20 _____
Planning Chairperson

Agriculture Data Statement

TOWN OF DUANESBURG

5853 Western Turnpike, Duaneburg, NY 12056
Building Department 518-895-2040

Application # 26-04

Date
MM DD YY

Applicant

Owner (if different from Applicant):

Name: _____
Address: _____

Name: _____
Address: _____

1. Application Type: Special Use Permit Site Plan Approval Use Variance Area Variance Subdivision Approval
(check all that apply)

2. Description of proposed project: 2 - Lot Minor Subdivision of Parcel 43.-2-20 along with merger of
a portion of lands of 43.-2-20 with 43.-2-19.

3. Address of project: 1193 & 1293 Herrick Road
Tax Map #: 43.-2

4. Is this parcel within an Agriculture District? YES NO (Check with your local assessor if you do not know.)

5. If YES, Agriculture District #: _____

6. Is this parcel actively farmed? YES NO

7. List all farm operations within 500ft of your parcel. Attach additional sheet if necessary

Name: Ming Jiao Hsia
Address: 691 Hillman Rd

Is this parcel actively farmed? YES NO

Name: Adam Kerel
Address: 901 Herrick Rd

Is this parcel actively farmed? YES NO

Name: _____
Address: _____

Is this parcel actively farmed? YES NO

Name: _____
Address: _____

Is this parcel actively farmed? YES NO

Signature of Applicant

Signature of Owner (if other than applicant)

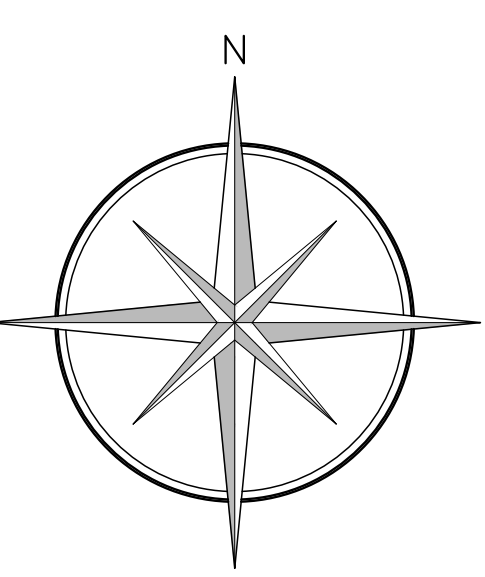
Reviewed by: Christopher Parslow Date 20 _____

Revised 1/14/25

FARM NOTE

Prospective residents should be aware that farm operations may generate dust, odor, smoke, noise, vibration and other conditions that may be objectionable to nearby properties. Local governments shall not unreasonably restrict or regulate farm operations within State Certified Agricultural Districts unless it can be shown that the public health or safety is threatened.

NOTE TO REFERRAL AGENCY: County Planning Board review is required. A copy of the Agricultural Data Statement must be submitted along with the referral to the County Planning Department.



DEED REFERENCES:

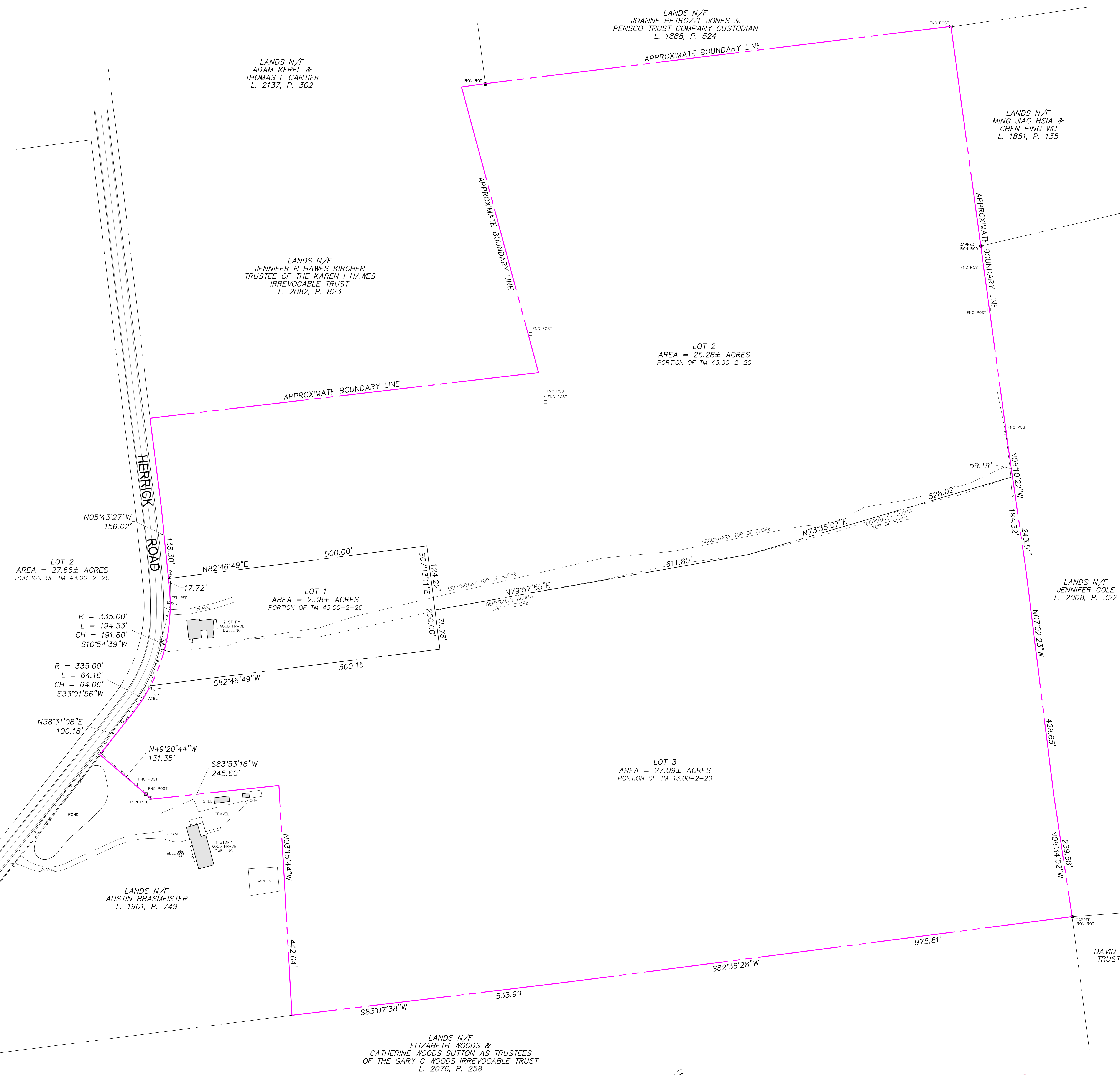
- 1) CONVEYED BY WILLIAM B. CLARK AND SHIRLEY H. CLARK TO AUSTIN BRASMEISTER BY DEED DATED SEPTEMBER 18, 2014 AS RECORDED IN THE SCHENECTADY COUNTY CLERKS OFFICE ON SEPTEMBER 23, 2014 IN LIBER 1901 OF DEEDS AT PAGE 749.
- 2) CONVEYED BY KAREN I. HAWES TO JENNIFER R. HAWES KIRCHER AS TRUSTEE OF THE KAREN I. HAWES IRREVOCABLE TRUST BY DEED DATED MARCH 3, 2022 AS RECORDED IN THE SCHENECTADY COUNTY CLERKS OFFICE ON APRIL 15, 2022 IN LIBER 2082 OF DEEDS AT PAGE 823.

MAP REFERENCES:

- 1) MAP ENTITLED "FINAL PLAT - MAP SHOWING SUBDIVISION OF THE LANDS OF LINDA BALFOUR, LOUISE HEALY, EMILY CASHDOLLAR, JEANNETTE COPPOLLO AND CLAUDE HEBERT" AS PREPARED BY BLACKSTONE LAND SURVEYORS ON JUNE 21, 2000 AS FILED AT THE SCHENECTADY COUNTY CLERKS OFFICE ON SEPTEMBER 5, 2000 IN CABINET J, MAP 364.
- 2) MAP ENTITLED "591 HILLMAN ROAD - SUBDIVISION MAP OF THE LANDS OF BRIAN HUNT" AS PREPARED BY AUSFELD & WALDRUFF LAND SURVEYORS LLP ON OCTOBER 1, 2011 AS FILED AT THE SCHENECTADY COUNTY CLERKS OFFICE ON DECEMBER 8, 2011 IN CABINET M, MAP 238.

NOTES:

- 1) SURVEYED PARCELS: TOWN OF DUANEBURG - TAX MAP 43.00, BLOCK 2, PARCELS 19 & 20.
- 2) BASE SURVEY PREPARED BY GERALD R. GRAY, PLS, FROM DEED REFERENCES, MAP REFERENCES AND A DECEMBER 2025 FIELD SURVEY. CERTAIN PLANIMETRIC FEATURES SHOWN HAVE BEEN SUPPLEMENTED WITH IMAGING FROM THE NEW YORK STATE GIS RESOURCES WEBSITE. CERTAIN PLANIMETRIC FEATURES ARE NOT SHOWN DUE TO THE LIMITED BOUNDARY SURVEY PREPARED FOR TAX MAP PARCEL 43.00-2-20.
- 3) NORTH IS BASED TO NAD 83 NEW YORK STATE PLANES EAST ZONE.
- 4) SUBJECT TO ALL RIGHTS, EASEMENTS, COVENANTS OR RESTRICTIONS, RECORDED OR UNRECORDED.
- 5) SUBJECT TO ANY STATEMENT OF FACT CONTAINED IN AN UP TO DATE ABSTRACT OF TITLE OR TITLE REPORT.
- 6) UNDERGROUND UTILITIES IF SHOWN HEREON ARE BASED ON VISIBLE PHYSICAL EVIDENCE. THEY SHOULD BE CONSIDERED SCHEMATIC ONLY AND ARE SHOWN TO DEPICT GENERAL UTILITY CONNECTIONS RATHER THAN EXACT UNDERGROUND LOCATIONS. GERALD R. GRAY PLS MAKES NO CERTIFICATION AS TO THE ACCURACY OF THE UNDERGROUND UTILITY LOCATIONS AND OTHER UTILITIES MAY EXIST THAT ARE NOT SHOWN ON THIS MAP. CALL DIGSAFE FOR FURTHER VERIFICATION. UTILITIES SHOWN WITHIN THE RIGHT OF WAY ARE BASED UPON FIELD LOCATION OF EXISTING PAINT MARKS AND PIN FLAGS.
- 7) DUE TO SNOW COVERED CONDITIONS AT THE TIME OF THE FIELD SURVEY, CERTAIN BOUNDARY, PLANIMETRIC AND UTILITY FEATURES WERE NOT VISIBLE AND THEREFORE NOT SHOWN.
- 8) REMAINING AREA/ACREAGE OF LOT 2 IS SUBJECT TO A FULL BOUNDARY SURVEY.
- 9) SURVEY IS PREPARED IN ACCORDANCE WITH THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS CODE OF PRACTICE FOR LAND SURVEYS AS ADOPTED IN OCTOBER OF 1966 AND LAST REVISED ON JULY 18, 1997.



PARCEL AREAS:

- TAX MAP PARCEL: 43.00-2-20
- ORIGINAL AREA WEST SIDE OF HERRICK RD = 27.66± ACRES
- ORIGINAL AREA EAST SIDE OF HERRICK RD = 54.75± ACRES
- LOT 1 AREA = 2.38± ACRES
- LOT 2 (EAST SIDE) AREA = 25.28± ACRES
- LOT 2 (WEST SIDE) AREA = 27.66± ACRES
- LOT 3 AREA = 27.09± ACRES

CURRENT ZONING:

- AGRICULTURAL AND RESIDENTIAL R-2
- MINIMUM LOT AREA = 100,000 SQFT
- MINIMUM LOT WIDTH = 200 FEET
- MINIMUM LOT DEPTH = 200 FEET
- MAXIMUM LOT COVERAGE = 25%
- MINIMUM FRONT SETBACK = 80 FEET
- MINIMUM SIDE SETBACK = 40 FEET
- MINIMUM SIDE SETBACK ON CORNER LOT = 80 FEET
- MINIMUM REAR SETBACK = 80 FEET
- MAXIMUM BUILDING HEIGHT = 2 1/2 STORES OR 35 FEET
- NO HEIGHT RESTRICTIONS FOR BUILDINGS OR STRUCTURES USED FOR AGRICULTURAL PURPOSES.

GENERAL NOTES:

- 1) PROPOSED LIMITS OF CLEARING FOR HOUSE, SEPTIC, DRIVEWAY & WELL AREAS FOR LOT 1 TOTAL LESS THAN 1.0 ACRE AND REQUIRE A STORM WATER CONTROL PLAN, PROJECT DISTURBANCE OF 1.0 ACRE OR MORE REQUIRES STORMWATER POLLUTION PREVENTION PLAN COMPLIANCE WITH NYSDEC REGULATIONS.
- 2) SEPTIC DISCLOSURE: (TO BE ADDED TO SUBDIVISION PLAT PLAN AND/OR SURVEY) ISSUANCE OF A BUILDING PERMIT FOR EACH LOT AS SHOWN WILL BE CONTINGENT UPON APPROVAL BY THE BUILDING INSPECTOR OF SANITARY DISPOSAL SYSTEMS AND WATER SUPPLY WELLS FOR LOCATION, QUALITY AND QUANTITY OF SUPPLY, BASED UPON SOIL SURVEY DATA OBTAINED BY THE UNITED STATES DEPT. OF AGRICULTURE/SOIL CONSERVATION SERVICE AND SITE SOILS EVALUATION. IT IS EXPECTED THAT SOME, IF NOT ALL LOTS, WILL REQUIRE ALTERNATIVE SEPTIC SYSTEMS, AS DESIGNED BY A LICENSED ENGINEER OR ARCHITECT AND REVIEWED AND APPROVED BY THE SCHENECTADY DEPT. OF HEALTH ON LOTS REQUIRING ALTERNATIVE SEPTIC SYSTEMS. SCHENECTADY COUNTY HEALTH DEPT. APPROVAL SHALL BE OBTAINED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT BY THE BUILDING INSPECTOR. CONVENTIONAL SEPTIC SYSTEMS WILL BE ALLOWED ONLY WHEN AND WHERE PERCOLATION TEST RESULTS AND SOIL EVALUATIONS ARE IN CONFORMANCE IN EVERY RESPECT WITH THE STANDARDS SET FORTH IN THE CURRENT NEW YORK STATE DEPT. OF HEALTH PUBLICATION WASTE TREATMENT STANDARDS-INDIVIDUAL HOUSEHOLD SYSTEMS AND ARE APPROVED BY THE SCHENECTADY COUNTY DEPT. OF HEALTH. FOR CONVENTIONAL SYSTEMS THE COUNTY DEPARTMENT OF ENVIRONMENTAL HEALTH MUST WITNESS THE SOIL INVESTIGATION AND PERCOLATION TEST.
- 3) THE SUBDIVISION SITE IS WITHIN A ZONE DESIGNATED AS AGRICULTURAL AND RESIDENTIAL DISTRICT, R-2
- 4) THIS PROPERTY IS ADJACENT TO LANDS IN THE AGRICULTURAL DISTRICT AND FARMING ACTIVITIES MAY INCLUDE, BUT NOT LIMITED TO, ACTIVITIES THAT CAUSE NOISE, DUST AND ODOORS.
- 5) SCHENECTADY COUNTY ENVIRONMENTAL HEALTH DEPARTMENT APPROVAL FOR SEPTIC AND WELL WILL BE REQUIRED WITH ANY BUILDING PERMIT APPLICATION.

						3 Lot Subdivision Lands of Hawes 1193 Herrick Road Town of Duaneburg County of Schenectady State of New York	
DATE: 3/2/26 NO.: DATE:		REVISED LOTS AND TITLE OF MAP NO.: DATE:		GRG BY:		CHECKED BY: GRG JOB NO.: SCALE: 1" = 80' SHEET	
EMPIRE ENGINEERING, PLLC 1900 DUANEBSBURG ROAD DUANEBSBURG, NY 12056		GERALD R. GRAY, PLS NYSPLS 50513		DATE: February 5, 2026 DRAWN BY: GRG CADD FILE:			

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

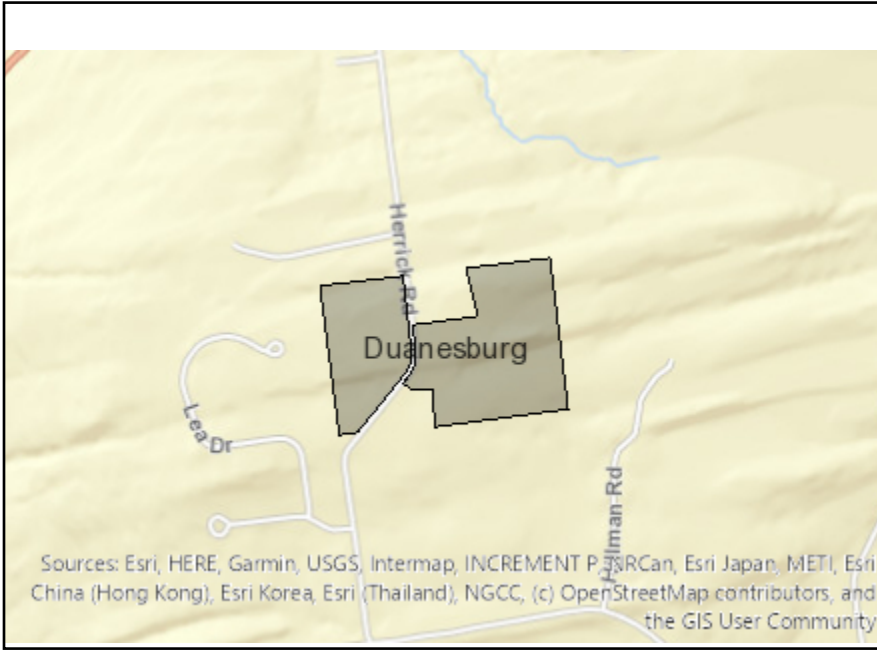
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project:			
Project Location (describe, and attach a location map):			
Brief Description of Proposed Action:			
Name of Applicant or Sponsor:		Telephone:	
		E-Mail:	
Address:			
City/PO:		State:	Zip Code:
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. Urban Rural (non-agriculture) Industrial Commercial Residential (suburban)			
<input type="checkbox"/> Forest Agriculture Aquatic Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest Agricultural/grasslands Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
49. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: _____ Date: _____ Signature: _____ Title: _____		



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources to confirm data provided by the Mapper or to obtain data not provided by the Mapper.



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	Yes
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local, New York State, and federal wetlands and waterbodies is known to be incomplete. Refer to the EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No

Jeffery Schmitt, Planning Board Chair
Michael Harris, Vice Chairman
Chris Parslow, Town Planner
Terresa Bakner, Board Attorney
Lindsay Althiser, Planning Clerk



Elizabeth Novak, Board Member
Joshua Houghton, Board Member
Matthew Hoffman, Board Member
Michael Walpole, Board Member

TOWN OF DUANESBURG
SCHENECTADY COUNTY

Town of Duanesburg
Planning Board Minutes
February 19, 2026
Draft Copy

MEMBERS' PRESENT:

Chairman Schmitt, Vice Chairman Harris, Board Member Houghton and Board Member Walpole. Also Attending: Town Planner Chris Parslow, Lindsay Althiser Town Building, Planning and Zoning Clerk and Town Attorney Terresa Bakner.
Absent: Board Member Hoffman and Board Member Novak.

INTRODUCTION:

Chairman Schmitt opened the meeting at 7:00pm and welcomed everyone to the Planning Board meeting.

OPEN FORUM:

Chairman Schmitt/ Vice Chairman Harris made a motion to open the open forum.
Chairman Schmitt aye, Vice Chairman Harris aye, Board Member Houghton aye, Board Member Walpole aye. **Approved.**

No comments were made.

Chairman Schmitt/ Vice Chairman Harris made a motion to close the open forum.
Vice Chairman Harris aye, Chairman Schmitt aye, Board Member Houghton aye, Board Member Walpole aye. **Approved.**

PUBLIC HEARINGS: NONE.

NEW BUISINESS: NONE.

OLD BUSINESS:

#25-22 114 North Avenue, Inc: SBL#65.00-1-5 located at 376 Turnbull Rd(R-2) is seeking a special use permit needed for a two-family dwelling. Under The Town of Duanesburg Zoning Ordinance section 8.4(8) “dwelling, two family.”

Nicholas Passono of Turnbull Rd a representative for Randy Passono and 114 North Avenue, Inc took a moment to explain to the board that they have provided the land survey to the board that was asked for in the December 2026 meeting. Mr. Passono goes on to show the board the locations of the pre-existing house, well and septic. Board Member Houghton questioned whether or not the applicant would need a variance. However, it was determined since it is a pre-existing structure that is being converted into a two-family dwelling that a variance is not required. Town Attorney Bakner stated that the county referral came back and the only recommendation that they had was an engineer's evaluation of wastewater treatment system. Vice Chairman Harris made mention for transparency that his home is within 500ft of the application and question if he needed to recuse himself from the vote although he had no objections. Town Attorney Bakner stated that it would not be a conflict of interest and he could vote on the application. Town Attorney Bakner notes that this is a type 2 action under SEQRA.

Chairman Schmitt/ Board Member Houghton made a motion to set the public hearing for the special use permit needed for a two-family dwelling of **#25-22 114 North Avenue, Inc** for the March 19, 2026, meeting.

Chairman Schmitt aye, Board Member Houghton aye, Vice Chairman Harris aye, Board Member Walpole aye. **Approved**

SKETCH PLAN REVIEW:

#26-02 Tice, Kyle: SBL#74.00-3-20.1 and 74.00-3-19 located at 341 Schoonmaker Rd.(R-2) is a lot line adjustment to change the sizes of the current lots. Under The Town of Duanesburg Subdivision Ordinance local law #2 “Lot Line Adjustment.”

Harold Bingay of Bethlehem Land Surveying a representative for Kyle Tice took a moment to explain to the board that they have two parcels. Lot 1 has land for Niagara Mohawk running through it so they are looking to move the lot line to the other side of the Niagara Mohawk property. Lot 1 would turn into a larger flag lot encompassing both sides of the Niagara Mohawk land and lot 2 would turn into a smaller lot no longer divided by Niagara Mohawk land. The board determined that both lots would still meet the acreage requirements. Town Attorney Bakner suggest to the application to include descriptions for each lot when they create the new deeds.

Vice Chairman Harris stated that the planning board reviewed the Kyle Tice lot line adjustment and determined that this action neither creates nor increases any significant planning issues with respect to the existing or potential futures of any involved parcels and that no additional lots will be created or result of a lot line adjustment. We declare the proposed action be exempt from any further subdivision review pursuant to section 3.4 and refer the applicant to the code enforcement officer to complete administration of the same and we only request that the deeds are filed with the descriptions clearly described for each lot.

Vice Chairman Harris/ Chairman Schmitt made a motion to approve the lot line adjustment needed to change the sizes to two lots of **#26-02 Tice, Kyle** SBL#74.00-3-20.1 and 74.00-3-19 on the February 19, 2026, meeting.

Vice Chairman Harris aye, Chairman Schmitt aye, Board Member Houghton aye, Board Member Walpole aye. **Approved**

#26-03 Smith, Christopher: SBL#75.12-2-9 located at 10086 Duanesburg Rd.(H) is seeking a sketch plan review needed to open a restaurant. Under The Town of Duanesburg Zoning Ordinance section 9.3(4) and section 9.3(24) “uses requiring site plan review”

Mr. Christopher Smith takes a moment to describe to the board that he is looking to open a restaurant at 10086 Duanesburg Rd. He showed the board his plans for the inside of the building with a seating chart as well as a parking plan to show adequate per the code. Mr. Smith went on to state that he has room for about 70 seats all together with tables and bar space. Town Code Enforcement Officer Chris Parslow determined the applicant would need 1 parking space per 100 sq feet of floor area. The building has a total floor area of 2,060 sq feet which includes the kitchen in order to ensure there would be enough parking spaces. Chairman Schmitt noted that this is a type 2 action under SEQRA.

Chairman Schmitt/ Board Member Walpole made a motion to set the public hearing for the sketch plan review needed to open a restaurant of **#26-03 Smith, Christopher** for the March 19, 2026, meeting.

Chairman Schmitt aye, Board Member Walpole aye, Vice Chairman Harris aye, Board Member Houghton aye. **Approved**

OLD BUSINESS CONTINUED:

Chairman Schmitt/ Vice Chairman Harris made a motion add the lot line adjustment of **#26-01 Pistana, Rachael** onto the February 19, 2026, meeting.

Chairman Schmitt aye, Vice Chairman Harris aye, Board Member Houghton aye, Board Member Walpole. **Approved**

#26-01 Pistana, Rachael: SBL#67.00-2-29.211 located at 972 North Mansion Rd (R-2) is seeking a lot line adjustment. Under The Town of Duanesburg Local Law #2 of 2016 under section 4 “Lot Line Adjustment.”

Ms. Pistana took a moment to state that she is no longer pursuing the lake rights easement for her property and would just like to continue with the lot line adjustment and finish the process. The board determined that since this lot was merged many years ago to create 1 larger lot this is actually a minor subdivision not a lot line adjustment as it is 1 lot turning back into 2 lots. The board determined that both lots meet the acreage and road frontage requirements. Town Attorney Bakner requests the descriptions for the lots be added to the

new deeds and that it is mentioned that the existing well and septic will remain on the parcel with the pre-existing home on lot 1.

Vice Chairman Harris stated that the planning board reviewed the Rachel Pistana minor subdivision and determined that this action neither creates nor increases any significant planning issues with respect to the existing or potential futures of any involved parcels and that no additional lots will be created or result of a lot line adjustment. We declare the proposed action be exempt from any further subdivision review pursuant to section 3.4 and refer the applicant to the code enforcement officer to complete administration of the same.

Vice Chairman Harris / Chairman Schmitt made a motion to accept the minor subdivision need to turn 1 lot into 2 lots of **#26-01 Pistana, Rachael** on the February 19, 2026, meeting. Chairman Schmitt aye, Vice Chairman Harris aye, Board Member Houghton aye, Board Member Walpole. **Approved**

OTHER: NONE.

MINUTE APPROVAL:

Chairman Schmitt/ Vice Chairman Harris made a motion to approve the January 15, 2026, meeting minutes. Chairman Schmitt aye, Vice Chairman Harris aye, Board Member Houghton aye, Board Member Walpole aye. **Approved.**

ADJOURNMENT:

Chairman Schmitt / Board Member Houghton made a motion to adjourn the February 19, 2026, meeting at 7:38pm. Chairman Schmitt aye, Board Member Houghton aye, Vice Chairman Harris aye, Board Member Walpole aye. **Approved.**

I, Lindsay Althiser, Town Planning and Zoning Clerk of the Town of Duanesburg, hereby certify that this is a true and accurate transcript of the Planning Board Meeting held on Thursday February 19, 2026.